

CHAPTER 7 8: PLANNING AREA STANDARDS



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I. INTRODUCTION

The local planning area standards in this chapter are intended to protect and enhance the planning area's abundant natural resources and scenic beauty. At the same time, they provide opportunities to improve jobs, services, recreation, and tourism. The standards implement the vision, goals and policies described in the preceding chapters.

~~This chapter contains special "standards" for the Estero Planning Area- standards are mandatory requirements for development, designed to handle identified problems in a particular rural area, or~~ **and are intended** to respond to concerns in ~~an individual~~ **particular area** or community. Planning area standards can range from special setbacks in one neighborhood, to limits on the kinds of land uses normally allowed by the **Land Use Element LUE** (Table O, and Coastal Table O, Part I) because of certain community conditions.

Planning area ~~These standards apply to the planning and~~ **certain activities**, development, **and establishment** of new land uses., ~~and They must be satisfied before a new land use can be established. permit to be approved, and for a newly constructed project to be used. All standards listed in this area plan may not affect the entire planning area. Most apply to specific communities or rural locations.~~

Planning area ~~These standards requirements apply to development proposed projects in addition to provisions of the Local Coastal Program Policy Document and the Land Use Ordinance (LUO) or Coastal Zone Land Use Ordinance (CZLUO). Where planning area these standards conflict with the LUO, CZLUO, these standards control~~ **take precedence, except in cases where additional density is granted through participation in the TDC Program established in Coastal Framework for Planning. In those cases, the base density (pursuant to Section 23.04.560b(1) of the CZLUO) may be derived from the area plan standards where a minimum parcel size or density has been established. Any density bonus shall meet the standards of the CZLUO, unless such density bonus is specifically set forth in the area plan standard. In any case where this area plan designates a property in the Open Space or Recreation land use categories; in the Sensitive Resource or Historic Area combining designations; or where the LUE identifies a need for open space preservation through easement, contract or other instrument; such designation does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy.**

Land dedications and other exactions identified in this plan are intended to mitigate the impacts of specific development proposals, and to insure consistency with the Local Coastal Program. In some circumstances, the county may conduct a nexus and proportionality study to provide the practical and legal basis for the proposed exactions. Dedications and exactions will be pursued consistent with Section 30001.5 of the California Coastal Act considering the need to:

ORGANIZATION

1. Assure the orderly, balanced utilization and conservation of coastal zone resources taking into account the social and economic needs of the people of the state; and
2. Maximize public access to and along the coast and maximize public recreation opportunities in the coastal zone consistent with sound resource conservation principles and constitutionally protected rights of private property owners.

Estero **planning** area standards are organized under several headings describing locations in the planning area where they apply. Standards are grouped first by **the entire planning area**, **second by area or** community, then by land use category, and finally under headings naming a specific area **or location** where the standard must be satisfied.

In addition to planning area standards, this chapter also includes *guidelines*. Guidelines provide further direction on how to implement the goals and policies of this plan. Guidelines are advisory, but are to be used in evaluating projects such as land divisions, Minor Use Permits and Development Plans. A variety of approaches may satisfy the intent of the guidelines.

II. CHAPTER ORGANIZATION

This chapter contains the following major sections:

I. INTRODUCTION

II. CHAPTER ORGANIZATION

III. AREAWIDE STANDARDS. These standards apply throughout the planning area or within identified areas.

IV. RURAL AREA STANDARDS. These standards apply to locations within the rural area located *outside* of the communities (urban areas) of Los Osos and Cayucos.

V. CAYUCOS URBAN AREA STANDARDS. These standards apply within the urban area (within the urban reserve line) of Cayucos.

VI. LOS OSOS URBAN AREA STANDARDS. These standards apply within the urban area (urban reserve line) of Los Osos.

Types of Standards (applies to items IV., V., and VI. above)

Rural **Areawide** standards apply in all rural land use categories or in specified rural areas.

ORGANIZATION

Combining Designations standards apply to lands in the specified combining designations. For example, in Cayucos, they are the Geologic Study Area (GSA) and Sensitive Resource Area (SRA) designations.

Land Use Category standards apply to all land within the specified land use categories, unless a sub-heading identifies specific areas or properties where the standard applies. Standards may apply within the following land use categories:

Agriculture	Office and Professional	Residential Multi-Family
Commercial Retail	Open Space	Residential Single Family
Commercial Service	Recreation	Residential Suburban
Industrial	Residential Rural	Rural Lands
		Public Facilities

Example Outline of Planning Area Standards

VI. LOS OSOS URBAN AREA STANDARDS *(major section)*

COMMERCIAL RETAIL: The following standards apply only to lands within the Commercial Retail land use categories.

A. Central Business District *(subsection)*

1. Mixed Use Development. *(standard)*

a. Site Coverage. *(standard)*

b. Floor and Open Area. *(standard)*

c. Residential Density. *(standard)*

2. Site Design. *(standard)*

Design Guidelines *(guideline)*

Ground Floor Uses

! *In order to attract customers and promote pedestrian activity... (guideline)*

III. AREAWIDE STANDARDS

The following standards apply throughout the Estero Planning Area, or in the specific locations or land use categories listed. They are intended to protect natural and cultural resources, encourage high quality residential development, and provide an efficient transportation system that encourages walking, bicycling and other types of transportation.

A. Resource Protection

1. Clustered or Concentrated Development. Wherever standards in this chapter call for clustering or concentrating development to protect identified sensitive features, land divisions, Minor Use Permits and Development Plans shall comply with the following (refer also to the Los Osos combining designation standards for Baywood Fine Sands in following Section VI):

- a. Reports.** When required by the Coastal Zone Land Use Ordinance or the Planning Director, a biological or other applicable report that addresses identified sensitive feature(s) shall be prepared by a qualified professional approved by the Environmental Coordinator. The report shall make recommendations regarding compliance with the following standards b through i., in addition to any applicable requirements of the Coastal Zone Land Use Ordinance.
- b. Development Location.** Development in land divisions and other development projects shall be located away from identified sensitive features on or adjacent to the site, and in areas most suitable for development.
- c. Setbacks.** Development shall include sufficient setbacks/buffers to protect environmentally sensitive areas (see the following standard A2); *at a minimum*, the setbacks from environmentally sensitive habitats required in this plan and in Chapter 23.07 of the Coastal Zone Land Use Ordinance, as applicable.
- d. Extent, Intensity of Development.** The number of dwelling units, intensity of development and site coverage shall be consistent with protection of identified sensitive features on or adjacent to the site.
- e. Protection of Sensitive Features.** Identified sensitive features shall be protected through building controls, mitigation agreements, easements, participation in a transfer of development credits (TDC) program, or other means, consistent with applicable legal requirements to allow reasonable use of the site.
- f. Arrangement of Open Space.** Where feasible, open space areas or parcels shall consist of larger, contiguous areas rather than smaller, disconnected pockets of

AREAWIDE: RESOURCE PROTECTION

open space. Where feasible, in order to protect biological resources and wildlife migration corridors, open space areas or parcels shall connect to adjacent open spaces areas.

- g. Cluster Options.** Land divisions shall be designed to comply with preceding standards a - f by using any of the following options. Concentrated development, which results from use of options (2) through (4), shall fully and permanently protect identified sensitive features without causing adverse environmental impacts:

- (1)** Cluster land division standards in Chapter 4 of the Coastal Zone Land Use Ordinance.
- (2)** Cluster land division standards of the Coastal Zone Land Use Ordinance, but with an open space parcel(s) smaller than required.
- (3)** Conventional land division standards in Chapter 4 of the Coastal Zone Land Use Ordinance.
- (4)** Any applicable standards for common interest developments and Planned Developments in the Coastal Zone Land Use Ordinance.

2. Environmentally Sensitive Areas--Clustered Development and Habitat Protection Required.

- a.** Cluster or concentrate development on the least sensitive portions of the site in order to protect and sustain the following sensitive features:
- (1)** Sensitive Resource Areas and Environmentally Sensitive Habitats as shown in the Land Use Element and Local Coastal Plan.
 - (2)** Ecologically significant areas of oak woodland, coastal strand, coastal sage scrub, dune scrub, and maritime chaparral communities--whether or not identified as Sensitive Resource Area combining designations--as defined in the Final EIR for the Estero Area Plan Update and as confirmed in a biological report for proposed development.

AREAWIDE: RESOURCE PROTECTION

- (3)** All riparian habitat corridors, including riparian woodland and riparian scrub communities as defined in the Final EIR for the Estero Area Plan Update--whether or not they border "blue-line" streams as indicated on U.S.G.S. quadrangle maps--as confirmed in a biological report for proposed development.
 - (4)** Rare, endangered or threatened species as listed by federal or state agencies or as defined in the State *CEQA Guidelines*.
 - (5)** Other significant stands of vegetation, such as Bishop pine, eucalyptus, and cypress--whether or not identified as Sensitive Resource Area combining designations--that do not need to be removed due to hazardous condition or restoration/enhancement of native habitat.
- b.** All development within 100 feet of the preceding sensitive features shall comply with the applicable standards for ESH in the *Coastal Plan Policies* and in Chapter 23.07 of the Coastal Zone Land Use Ordinance, except as otherwise specified in this plan.
- c.** Development shall not significantly disrupt or cause significant adverse environmental impacts to the preceding sensitive features, and shall not diminish the long-term sustainability of the biological resources.
- d.** Where possible, design land divisions and development so that fuelbreaks and vegetation or fuel modification areas that are needed to reduce fire hazards do not disrupt or cause adverse impacts to the sensitive features listed in preceding paragraph a. Fuelbreaks and vegetation or fuel modification areas shall be located on the development side of required setbacks from sensitive features, and shall be in addition to the required setbacks, as shown in Figure 7-1.

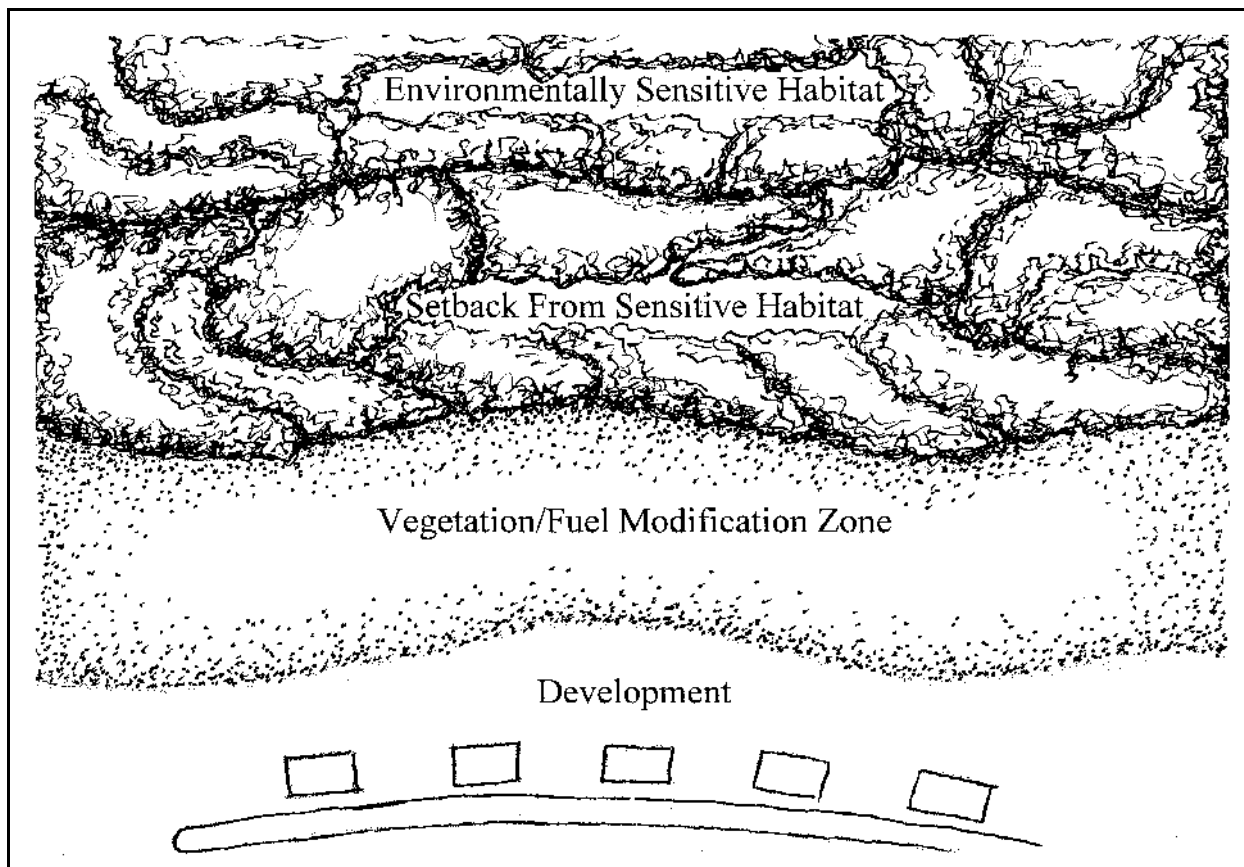


Figure 7-1: Fuel Modification Areas

B. Land Division and Development Design

- 1. Overriding Land Division Requirements.** New land divisions shall be prohibited unless all of the following criteria are satisfied:
 - a.** Development on all proposed building sites results in no adverse impacts to environmentally sensitive areas (as defined in preceding standard A2) and the required setbacks therefrom, as verified by the required biological report.
 - b.** Building sites shall not be located on slopes or ridgetops so that structures are silhouetted against the sky as viewed from public roads, public beaches, the ocean, or the Morro Bay estuary.

- c. **Development Potential.** The residential densities for new land divisions and development specified in this plan and in the Local Coastal Program are a maximum, and shall be reduced as needed to protect the environmentally sensitive areas as defined in preceding Section IIIA of the Areawide Standards.

2. Development Location

- a. **Multiple Sensitive Features.** Sites may contain several types of sensitive features that should be protected, such as sensitive habitat, prime agricultural soils, natural hazards, cultural resources, and scenic qualities. Where there is conflict between the objectives of protecting various identified sensitive features, locate and design development in a manner which on balance is the most protective of significant coastal resources.
- b. **Environmentally Sensitive Habitat: Site Disturbance.** The following standards apply where it is not feasible to locate a building site without causing adverse impacts to environmentally sensitive areas (as defined in preceding standard A2) and the required setbacks therefrom, as verified by the required biological report.
 - (1) The maximum total, aggregate amount of site disturbance shall be limited to avoid and mitigate adverse environmental effects to the maximum extent feasible, except as otherwise provided in the Los Osos combining designations standards for Los Osos Dune Sands in following Section VI., consistent with applicable legal requirements to allow reasonable use of the site.
 - (2) Site disturbance includes disturbance of the following areas in connection with non-agricultural activities: areas covered by structures, roads, utility trenching and pavement; areas on which grading or removal of native vegetation occurs. Site disturbance does not include activities that are consistent with the restoration and maintenance of native plant habitats as guaranteed by project approval.

C. Circulation

- 1. Consistency with Circulation Element.** All proposed public and private development and circulation improvements shall be consistent with the policies and provisions of Chapter 5 of this plan--the Circulation Element--including recommended roadway, pedestrian, intersection, traffic calming, bikeway, and other improvements.

D. Water Quality

1. Municipal Well-Head Protection--Referrals.

Applications for land divisions, Minor Use Permits and Development Plans within one mile of a municipal well shall be referred to the County Environmental Health Division for review and recommendations in accordance with Chapter 23.06 of the Coastal Zone Land Use Ordinance. Locations of municipal wells include, but are not limited to those shown in Figure 7-2.

E. Coastal Access and Recreation. Opportunities for public access to and along the coast shall be maximized as follows:

- 1.** ~~New development shall be required to provide~~ Public access and improvements to and along the coast shall recognize and protect ~~consistent with existing prescriptive rights;~~
- 2.** Public access and improvements to and along the coast shall be consistent with the Circulation Element (see Chapter 5 in this plan) and the coastal access goals and policies in Chapter 8 of this plan.
- 3.** Public access shall be consistent with protection of sensitive habitat and agriculture.
- 4.** Any existing free public access to recreational areas shall be maintained.
- 5.** New publicly-developed coastal access and recreation shall include requirements for resource monitoring and management, and provision of interpretive facilities at points of attraction, consistent with Chapter 23.04 of the Coastal Zone Land Use Ordinance.

MOVED FROM LOS OSOS RECREATION STANDARD A

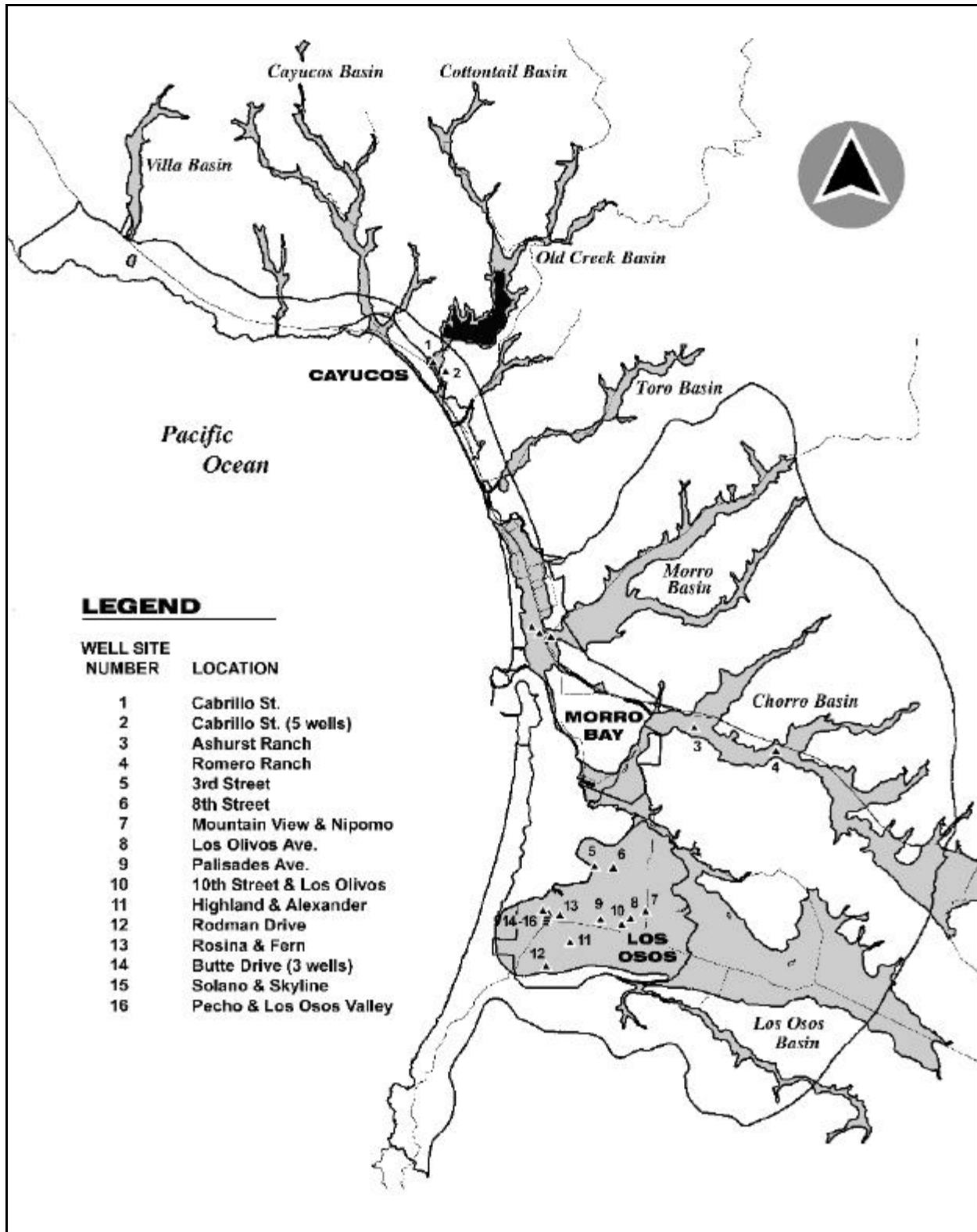


Figure 7-2: Location of Municipal Wells (not all-inclusive)

F. City of Morro Bay Planning Impact Area.

- 1. Application Referral.** Within the planning impact area shown in Figure 7-3, applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the city for review, comment and coordination regarding appropriate infrastructure improvements and development standards.
- 2. Morro and Chorro Groundwater Basins.** Land divisions, general plan amendments, Minor Use Permits, and Development Plans within the Morro and Chorro groundwater basins shown in Figure 7-4 shall not adversely impact aquatic habitats. Environmental review shall evaluate potential impacts of development on groundwater resources.

G. Cayucos Planning Impact Area. Within the planning impact area shown in Figure 7-5, applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the Cayucos Citizens Advisory Council or its successor for review and comment.

H. Los Osos Planning Impact Area. Within the planning impact area shown in Figure 7-6, applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the Los Osos Community Advisory Council or its successor for review and comment.

I. Light and Glare. At the time of application for any land division, land use permit or coastal development permit, except in the Agriculture land use category, the applicant shall provide details on any proposed exterior lighting, if applicable. All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark-colored.

AREAWIDE: CITY OF MORRO BAY PLANNING IMPACT AREA

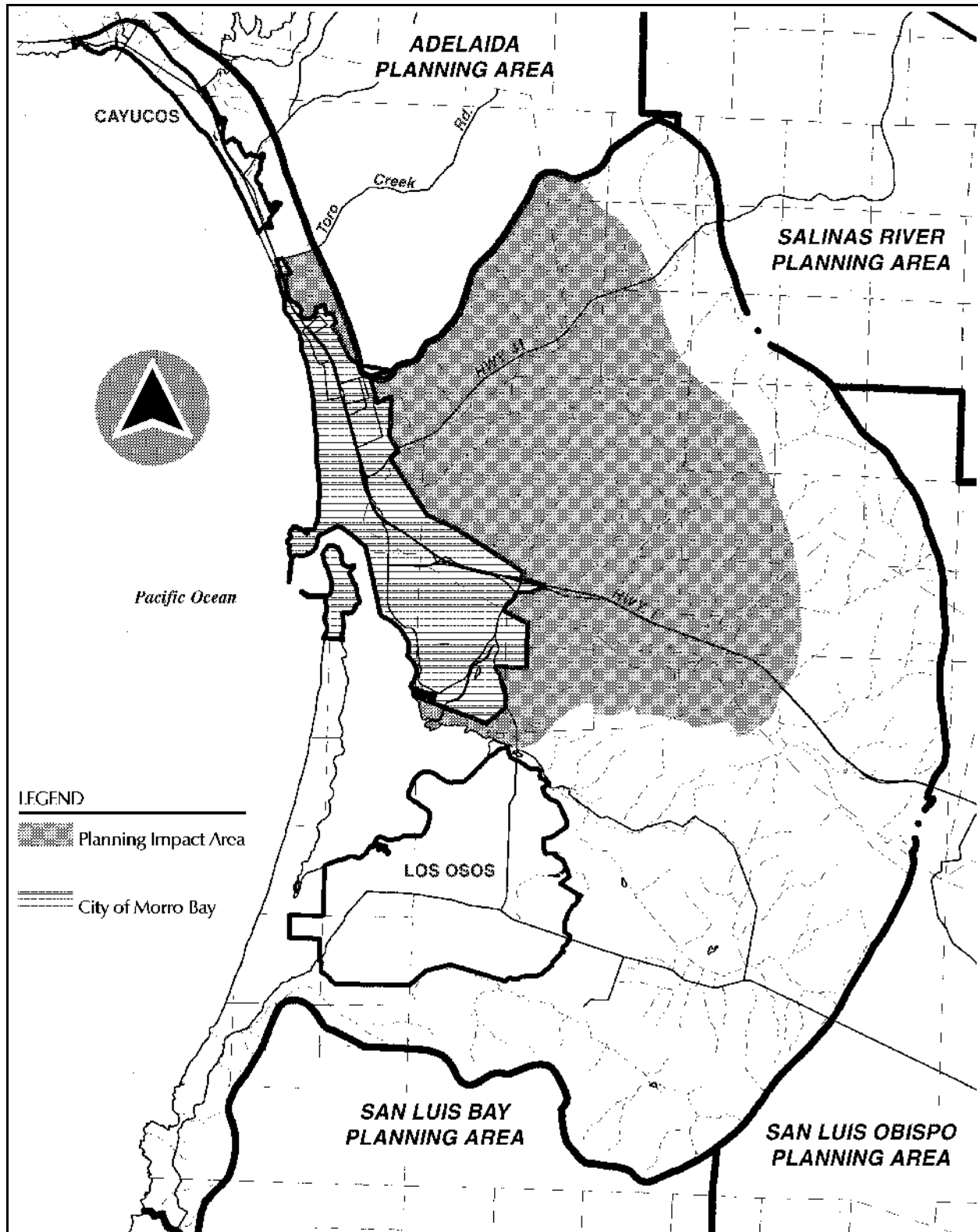


Figure 7-3: City of Morro Bay Planning Impact Area

AREAWIDE: MORRO AND CHORRO GROUNDWATER BASINS

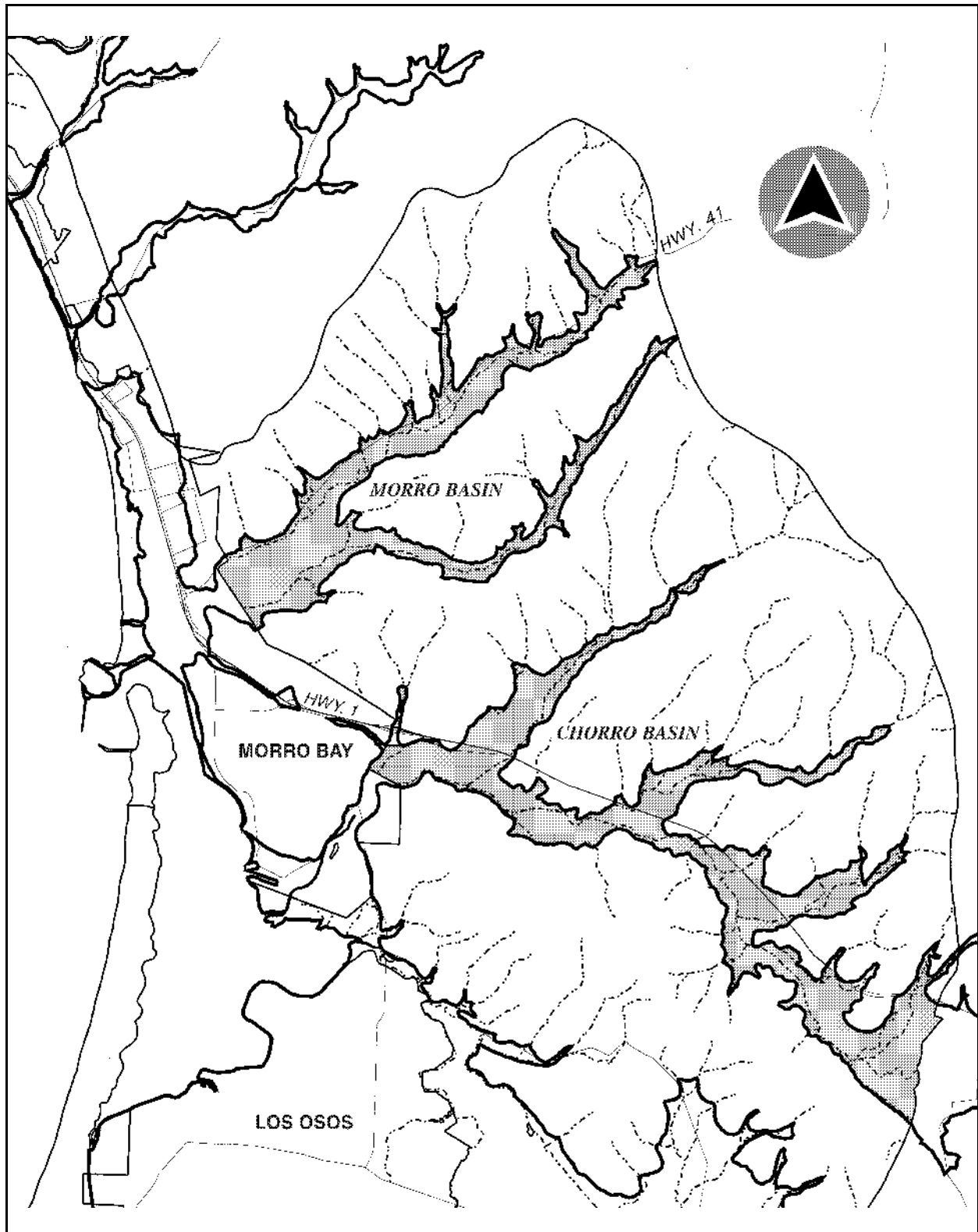


Figure 7-4: Morro and Chorro Groundwater Basins

AREAWIDE: CAYUCOS PLANNING IMPACT AREA

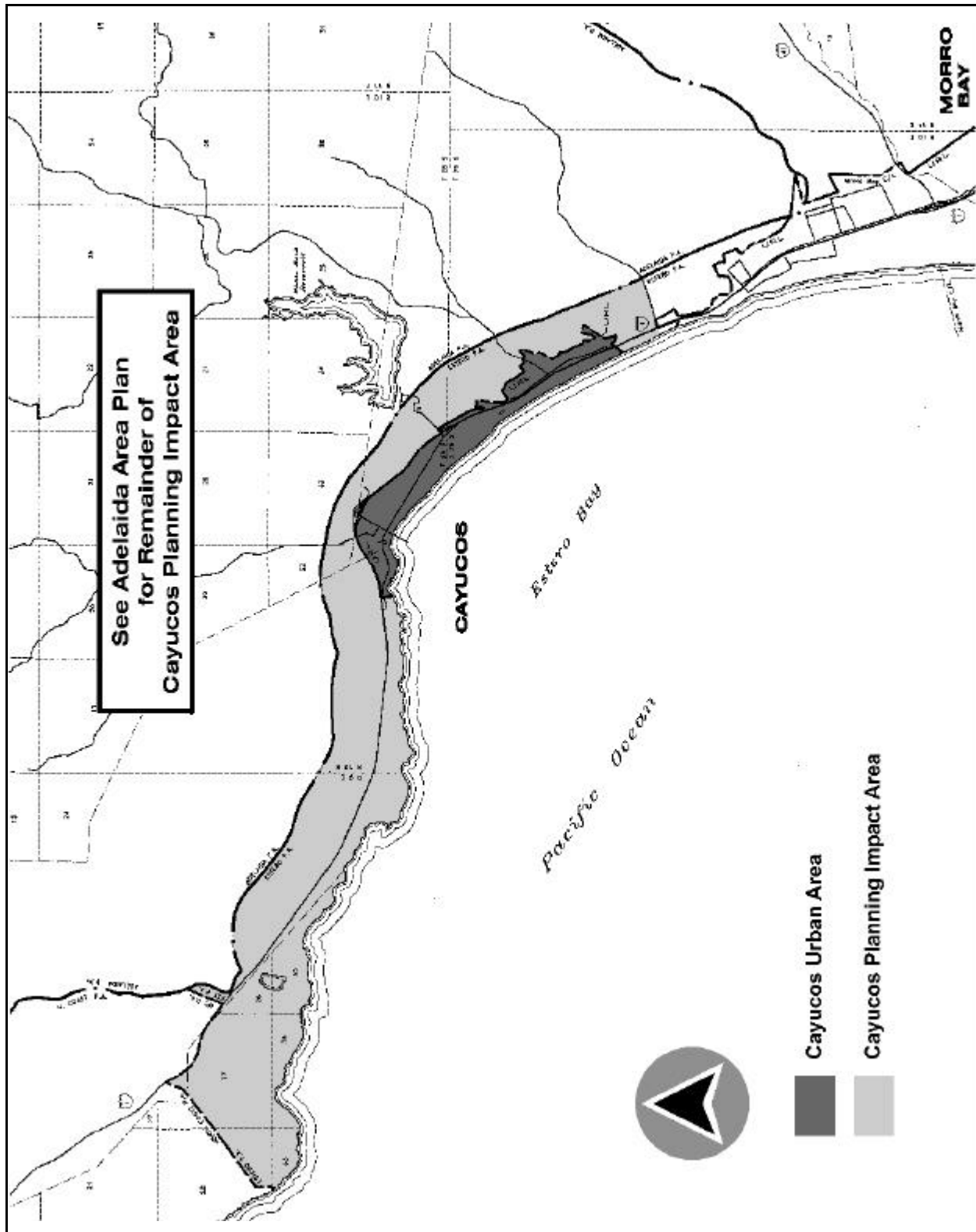


Figure 7-5: Cayucos Planning Impact Area

AREAWIDE: LOS OSOS PLANNING IMPACT AREA

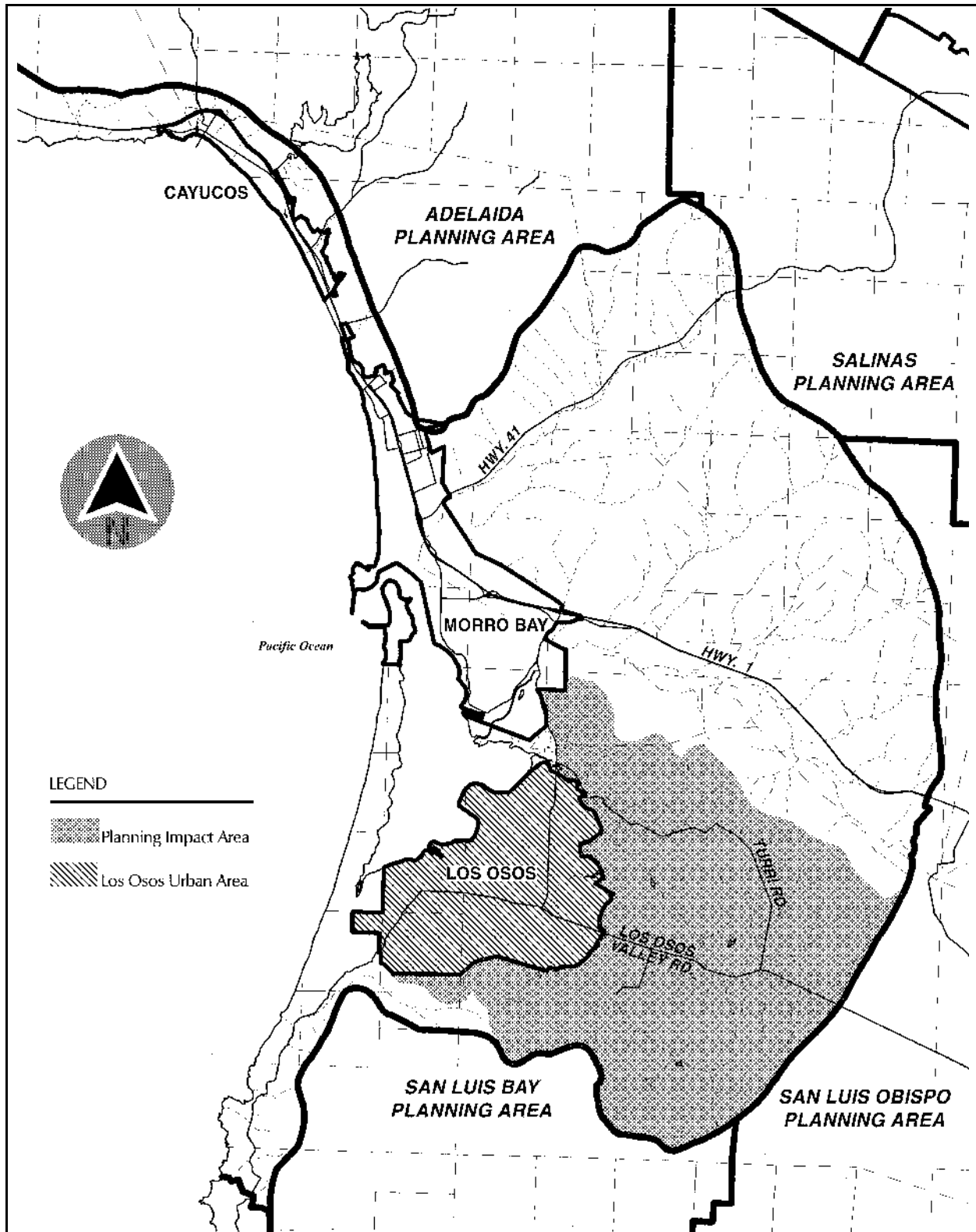


Figure 7-6: Los Osos Planning Impact Area

IV. D. ~~ESTERO~~ RURAL AREA STANDARDS

The following standards apply to lands in the Estero Planning Area outside of urban and village reserve lines, in the land use categories or specific areas listed.

AREAWIDE: The following standards apply to projects proposed in all Estero rural land use categories **or in specified rural areas.**

A. Circulation

1. **Areawide Systems ~~Development Plan Projects.~~ New development in land divisions, Minor Use Permits and Developments Plans** ~~development Plan proposals are to~~ shall be integrated into areawide circulation and utility easements, providing for future extensions into adjacent undeveloped properties wherever feasible or where known areawide rights-of-way are planned.
2. **Driveways ~~New Land Divisions.~~ Land divisions, Minor Use Permits and Developments Plans shall** ~~New land divisions are to~~ include, where possible, design provisions for combining driveways serving proposed parcels wherever terrain and adequate sight distance ~~on the public road~~ allow.
3. ~~**Road Design and Construction - New Land Divisions.**~~ ~~road alignments proposed in new land divisions are to be designed and constructed to minimize terrain disturbance consistent with safety and construction cost. Altered slopes are to be replanted with indigenous plants or protected by other appropriate erosion control measures.~~

Site Planning Within the Coastal Zone

4. ~~**Land Divisions Permit Requirements.**~~ ~~Land division applications in areas visible from the public road must identify all building site envelopes. Where feasible, these building sites shall be in locations least visible from the public road. New parcels whose only building site is on the ridge top shall be prohibited.~~

RURAL AREA: LAND DIVISIONS, LOS OSOS GROUNDWATER BASIN; IRISH HILLS CRITICAL VIEWSHED, LOS OSOS VALLEY ROAD SCENIC CORRIDOR; HIGHWAY 1 - CAYUCOS CRITICAL VIEWSHED; HIGHWAY 1 SCENIC CORRIDOR

- B. Land Divisions, Los Osos Groundwater Basin.** New land divisions within the Los Osos groundwater basin (see Figure 3-3 in Chapter 3 of this plan) shall not be approved unless the review authority makes a finding that the following development can be accommodated by the sustainable yield of the Los Osos groundwater basin without seawater intrusion: development resulting from the proposed land division, existing development (at current rates of water use and occupancy), and development of all vacant parcels within the Los Osos urban services line at buildout under this plan. This finding shall be based on the best available scientific information.
- C. Irish Hills Scenic Backdrop Critical Viewshed and Los Osos Valley Road Scenic Corridor.** The Irish Hills Scenic Backdrop Critical Viewshed and the Los Osos Valley Road Scenic Corridor (see Figure 7-7) are established with the primary purpose of protecting the following: important views of scenic backdrops, background vistas and foreground areas from Los Osos Valley Road; important plant and animal habitats; and watershed resources. All applicable standards in the Coastal Zone Land Use Ordinance apply within this area (e.g., those in Chapter 23.04).
- D. Highway 1 - Cayucos Critical Viewshed.** The Highway 1 - Cayucos Critical Viewshed (see Figure 7-8) is established to protect views of this scenic coastal area as seen from Highway 1, public beaches and the ocean. All applicable standards in the Coastal Zone Land Use Ordinance apply within this area (e.g., those in Chapter 23.04).
- E. Highway 1 Scenic Corridor.** Highway 1 in the rural portions of the Planning Area is a Scenic Corridor. All applicable standards in the Coastal Zone Land Use Ordinance apply (e.g., those in Chapter 23.04).

RURAL AREA: IRISH HILLS CRITICAL VIEWSHED, LOS OSOS VALLEY ROAD SCENIC CORRIDOR

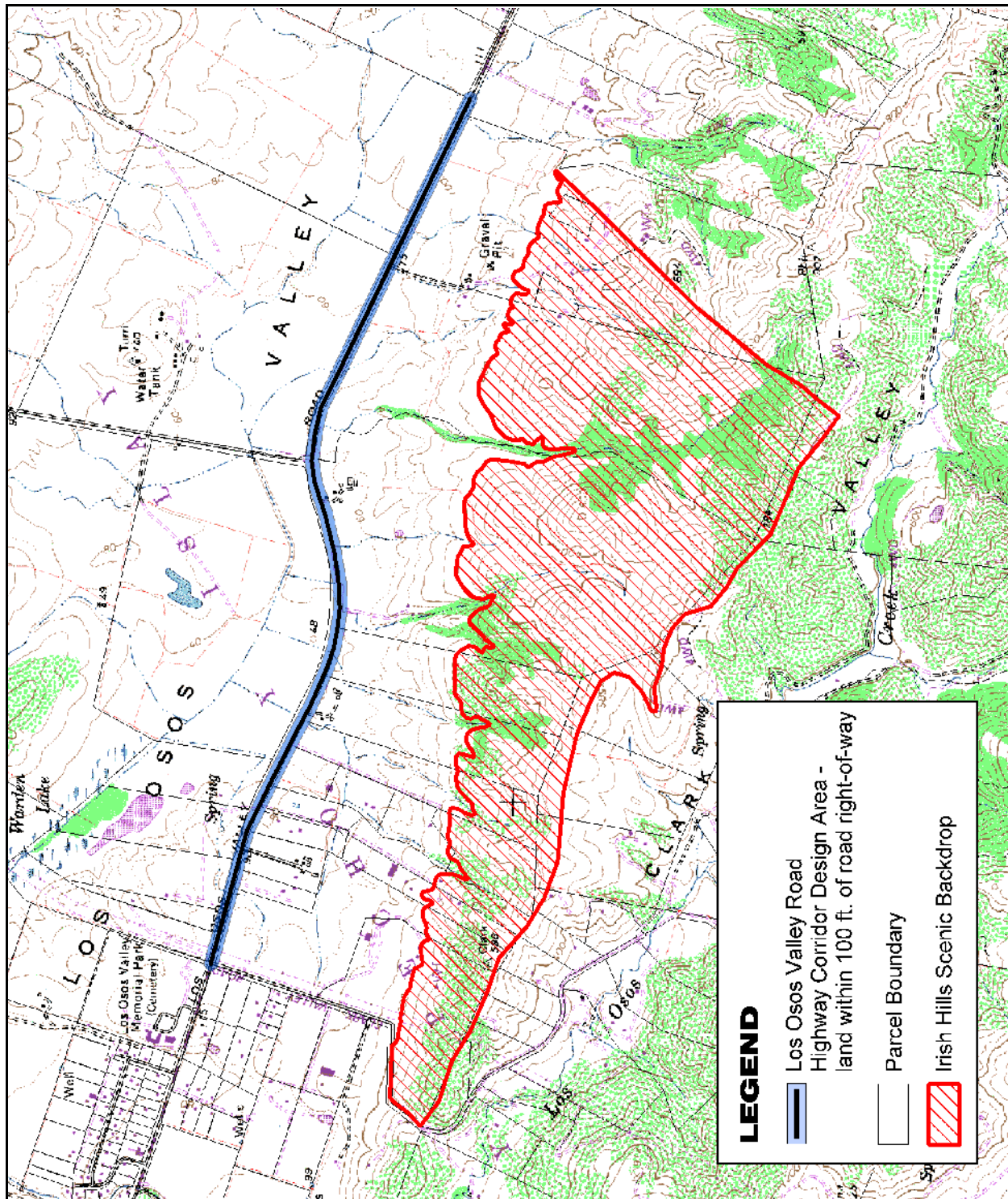


Figure 7-7: Irish Hills Scenic Backdrop Critical Viewshed and Los Osos Valley Road Scenic Corridor

RURAL AREA: HIGHWAY 1 - CAYUCOS CRITICAL VIEWSHED

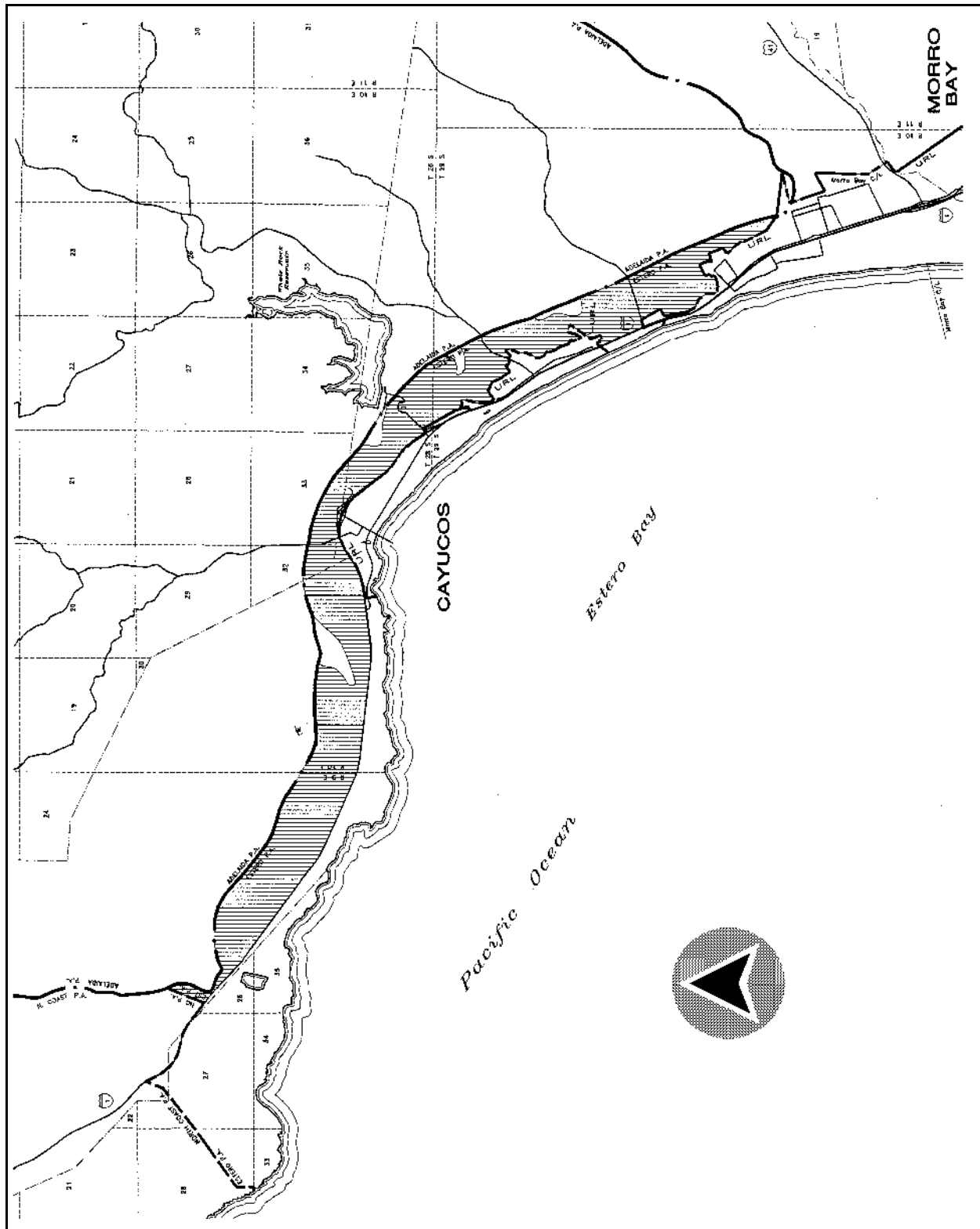


Figure 7-8: Highway 1-Cayucos Critical Viewshed

COMBINING DESIGNATIONS: The following standards apply to lands in the Geologic Study Area (GSA) and Sensitive Resource Area (SRA) combining designations located outside of urban and village reserve lines, as listed below.

A. Geologic Study Areas (GSA)

1. **Morro Bay & Cayucos Hillsides.** A geologic report prepared by a certified engineering geologist is required for hillside development proposals adjacent to the city of Morro Bay and the Cayucos Urban Reserve Line.

B. Sensitive Resource Area (SRA).

The following standards apply to lands within the Sensitive Resource Area combining designations, including the Critical Viewsheds for the Morros area and the coastal terrace west of Cayucos as shown on the official maps on file in the Department of Planning and Building. The general location of the coastal terrace west of Cayucos is shown in Figure 7-9 for reference purposes only.

The following standards help protect important resources and implement the watershed and visual and scenic resources policies in the Local Coastal Program, and the open space policies in the Agriculture and Open Space Element, including the policies for scenic corridors. The following standards are in addition to any applicable standards in the Coastal Zone Land Use Ordinance; for example, the scenic protection standards in Chapter 23.04 and the standards for Environmentally Sensitive Habitats in Chapter 23.07. Chapter 6 of this plan further discusses the public interests served by these SRA designations and generally describes the geographic areas in which they apply.

- ~~2. **Application Content - Peaks Area.** Site Plan applications for projects in the Peaks Area are to include a description of siting alternatives considered by the applicant in choosing proposed building locations, and design measures proposed to minimize visibility of the project from collector and arterial roads.~~
- ~~3. **Location Criteria.** Locate all new development (excluding utility corridors where it is demonstrated that the alternative will be visually less obtrusive and environmentally less damaging) so that preferably no new structures extend above the highest horizon line of knolls, hilltops, and ridgelines such that the structure is silhouetted against the sky when viewed from nearby collector or arterial roads. When such siting is infeasible or environmentally more damaging, the structures shall require Development Plan review~~

~~and shall be designed and be of such materials and colors to be harmonious and unobtrusive as feasible.~~

- ~~4. **Location Criteria - Sloping Sites.** New building sites and driveways are limited to locations where site slopes are less than 30%.~~
- ~~5. **Open Space Preservation - Peak Area.** Approval of an application for Site Plan or Development Plan (excluding single family dwellings and agricultural accessory buildings) is contingent upon the applicant executing an agreement with the county to maintain appropriate portions of the site not intended for development in open space use. Guarantee of open space preservation may be in the form of public purchase, agreements, easements controls or other appropriate instrument, provided that such guarantee agreements are not to grant public access unless desired by the property owner.~~
- ~~6. **Site Planning - Development Plan Projects.** Projects requiring Development Plan approval are to concentrate proposed uses in the least sensitive portions of properties. Native vegetation is to be retained as much as possible.~~

1. Morros Area SRA and Critical Viewshed. The Morros Area SRA and Critical Viewshed is established with the primary purpose of protecting the following: important views from Highway 1, Los Osos Valley Road, Turri Road, and South Bay Blvd.; natural landmarks and scenic backdrops; locations of important plant and animal habitats; and watershed resources. The following standards apply within this area, in addition to all other applicable standards in the Coastal Zone Land Use Ordinance (e.g., those in Chapter 23.04).

- a. Application Content.** A biological report prepared by a qualified professional (unless the Environmental Coordinator determines that the report is unnecessary) shall be submitted with an application for a land use permit or land division that is subject to the scenic protection standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance. The report shall recommend measures to avoid, and if not possible, to mitigate impacts to biological resources.
- b. Cluster Requirement - Residential Land Divisions.** Residential land divisions that are subject to the scenic protection standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance shall cluster or concentrate development in accordance with Section IIIA of the Areawide standards in this plan in order to protect the scenic and other features identified in this standard.

- 2. Coastal Terrace SRA and Critical Viewshed West of Between Cayucos and San Geronimo Creek.** The Coastal Terrace SRA and Critical Viewshed west of Cayucos is established. The following standards apply only to the approximately 66-acre area on the coastal terrace south of Highway One that extends from the Cayucos urban reserve line westward to the planning area boundary San Geronimo Creek. The purpose of this SRA and Critical Viewshed is to protect views of this scenic coastal area as seen from Highway 1, public beaches and the ocean, and to protect sensitive plants. The following standard applies within the portion of this area shown in Figure 7-9, in addition to all other applicable standards in the Coastal Zone Land Use Ordinance (e.g., those in Chapter 23.04).
- a. 7. Application Content and Site Planning.** Applications for land divisions or land use permits for new development shall include the following:
- ~~a.~~ A visual analysis prepared by a qualified professional shall be submitted with the application for review and approval by the county, except in the case of a proposed residential or agricultural accessory structure having a gross floor area of less than 600 square feet. The visual analysis shall show development areas that minimize visual impacts as seen from Highway One. The project shall be designed to minimize those visual impacts.
 - ~~b.~~ A biological report prepared by a qualified professional (unless the Environmental Coordinator determines that the report is unnecessary) shall be submitted with an application for a land use permit or land division. A botanical report prepared by a qualified professional shall be submitted with the application for review and approval by the county Environmental Coordinator. The report shall include identification of sensitive plants on the site, sensitive areas due to the presence of marine mammals, and recommendations to avoid, and if not possible, to or mitigate any adverse effects on sensitive plants and marine mammals. The recommendations of that report shall be incorporated into the design of the proposed project.
- 3. Los Osos Dune Sands Habitat (SRA).** In order to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat in the rural areas (an Environmentally Sensitive Habitat), new development within this SRA (see Figure 6-3 for location) shall comply with the standards in this chapter in Section VI, Communitywide D., Habitat Conservation and Tree Protection, except for the standard that requires participation in the Los Osos Habitat Conservation Plan, and in Section VI, Combining Designations B., Sensitive Resource Area, Los Osos Dune Sands SRA.

RURAL AREA: COMBINING DESIGNATIONS

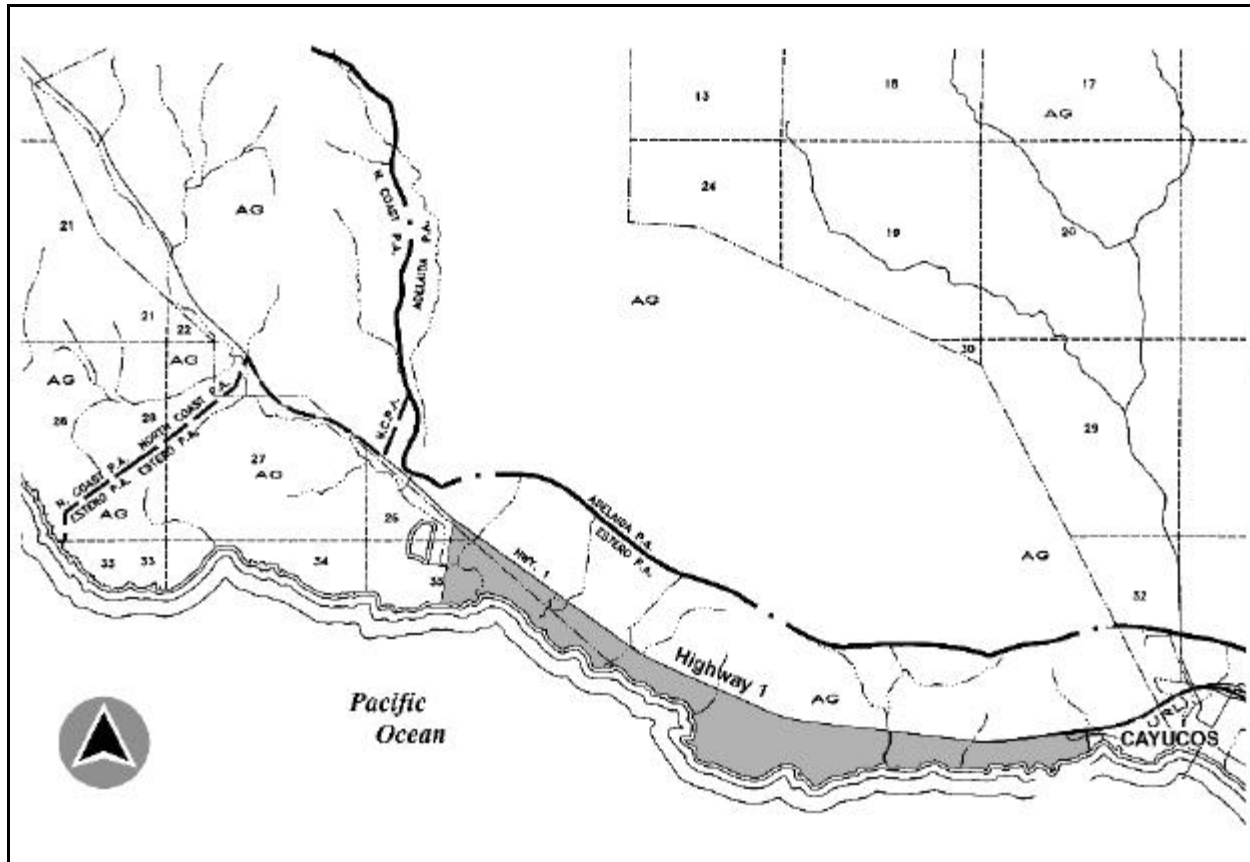


Figure 7-9: Portion of Coastal Terrace SRA and Critical Viewshed West of Cayucos (for reference only—not the official map)

AGRICULTURE: The following standards apply to lands in the Agriculture land use category located outside the urban and village reserve lines.

- ~~1. **Site Selection.** New development is to concentrate residential and agricultural structures in the non-prime areas where terrain, access and agricultural operations would permit.~~
- A. Limitation on Use.** The following standard applies only to lands that are defined by the *Agriculture and Open Space Element* as Row Crop Terrain and Soils. The intent of this standard is to limit uses to those that are most directly related to agricultural production on lands that support the most intensive farming operations.
 - 1.** Allowable uses are limited to: agricultural accessory structures; animal raising and keeping; crop production and grazing; nursery specialties–soil dependent; coastal accessways; farm support quarters; home occupations; mobilehomes; residential accessory uses; single family dwellings; temporary dwelling; water wells and impoundments; pipelines and transmission lines; public utility facilities.
- B. ~~For the Morro Ground Water Basin Valley Area.~~** The following standard shall apply ~~to holdings within the Morro ground water basin as shown in Figure 7-4 Valley.~~
- ~~1. 2. **Water Management Plan Implementation Project.** The agricultural designation shall not preclude Siting of water management implementation programs and facilities shall not be precluded in the agricultural areas.~~

~~INDUSTRIAL: The following standards shall apply to lands in the Industrial land use category.~~

- C. Estero Marine Terminal.** The following standards apply to the entire Estero Marine Terminal ownership on both the east and west sides of Highway 1, near Toro Creek Road, as shown in Figure 7-10.
- ~~3. **Use Restriction.** Uses are limited to pipelines and power transmissions (including petroleum product storage, pipelines and associated facilities).~~

RURAL AREA: AGRICULTURE CATEGORY

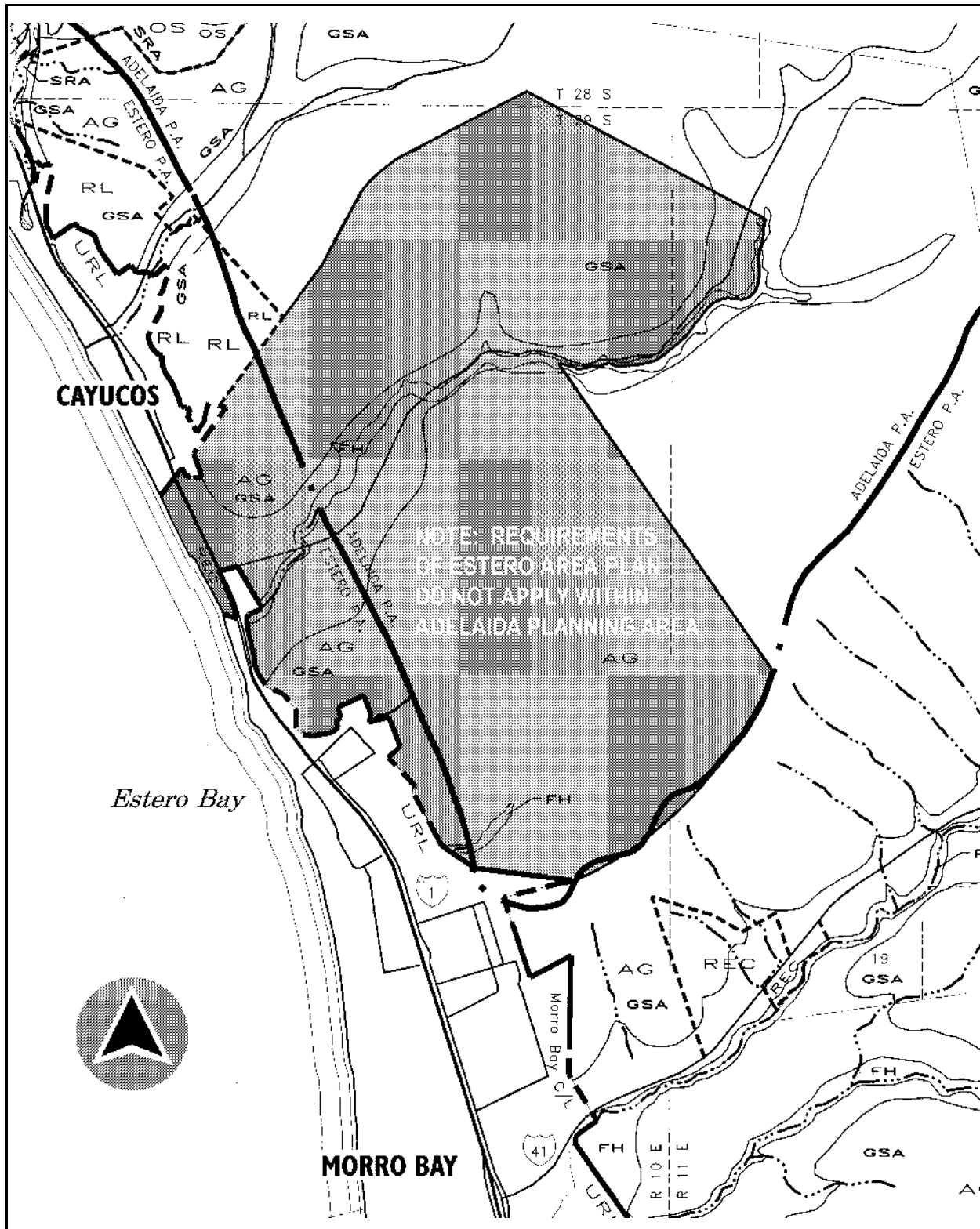


Figure 7-10: Estero Marine Terminal Ownership

~~2. **Permit Requirements.** Proposed industrial facilities or modification expansion of existing facilities (other than for maintenance of existing facilities) will require Development Plan approval and are subject to the following:~~

- ~~a. Phasing plan for the staging of development indicating the anticipated timetable, and site plans for project initiation, expansion possibilities, completion, consolidation possibilities and decommissioning.~~
- ~~b. Oil spill contingency plan (using the most effective feasible technology) indicating the location and type of cleanup equipment, designation of responsibilities for monitoring, cleanup, waste disposal and reporting of incidents and provisions for periodic drills by the operator to test the effectiveness of the cleanup and containment equipment and personnel.~~
- ~~c. A fire protection system approved by the governing fire authority.~~
- ~~d. All facilities not requiring an ocean site to be able to function, including wastewater and ballast water processing facilities, major petroleum storage facilities, offices and warehouses (excluding facilities housing oil spill containment and recovery equipment) shall be set back from the ocean. Those uses which can be located away from the ocean to an alternative location shall be considered as inappropriate, unless it is demonstrated that alternative locations are infeasible or more environmentally damaging.~~
- ~~e. Effective screening of proposed and existing industrial facilities on the site from public view. Effective screening would include the removal of unused or unsightly equipment from public view, the siting of proposed facilities in an inconspicuous manner through careful site design and the provision of contoured banks and grading, extensive landscaping, and decorative walls and fences.~~
- ~~f. Any part of the facilities that cannot effectively be screened shall be painted with non-reflective paint of colors that blend with surrounding natural landscape.~~

1. Storage Tanks and Related Equipment. Any unnecessary storage tanks or related above-ground equipment shall be dismantled in accordance with the required Development Plan, and any environmentally hazardous conditions shall be corrected.

2. Abandonment of the Marine Terminal

- a. Permit Requirement.** A Development Plan shall be filed within six months from closure of the offshore components of the marine terminal.

b. Application Content. The Development Plan application shall include the following:

- (1) A site characterization study of soil and groundwater contamination.
- (2) A phasing plan for abandonment indicating the anticipated timetable.
- (3) Plans for proposed decommissioning, site restoration, environmental mitigation, and reuse of existing facilities that will facilitate use of the site for uses allowable in the Agriculture category. The plans shall be coordinated with plans for new uses.

3. Subsequent Development. After abandonment of the marine terminal and associated facilities, all subsequent development shall be consistent with the Agriculture land use category.

~~**3. Minor Modification Requirements.** All uses shall be confined to the existing site; however, alterations or modifications for improved operational management may be permitted if they meet the following criteria:~~

- ~~a. Location of uses would be less visible from Highway 1 due to the site selected or landscaping and screening proposed.~~
- ~~b. Site alterations or disturbance of existing vegetation is minimized.~~
- ~~c. Proposed location would be less hazardous than existing sites and incorporate best technology for oil spill containment or other potential impacts.~~

~~**4. Air Pollution Standards.** Any expansion or modification of facilities or the construction of new facilities shall meet San Luis Obispo County Air Pollution (APCD) standards.~~

E. Former Los Osos Landfill Site and Vicinity. Consistent with Section 21090, Title 27, California Code of Regulations:

1. All proposed land uses, other than non-irrigated open space, within the landfill site shall require Minor Use Permit approval, unless Development Plan approval is otherwise required (see Figure 7-11). The application shall be referred to the Regional Water Quality Control Board and the Air Pollution Control District for review.
2. All proposed structures within 1,000 feet of the landfill disposal area shall require Minor Use Permit approval, unless Development Plan approval is otherwise required, and shall comply with the requirements of Section 21090, Title 27, California Code of Regulations (see Figure 7-11).

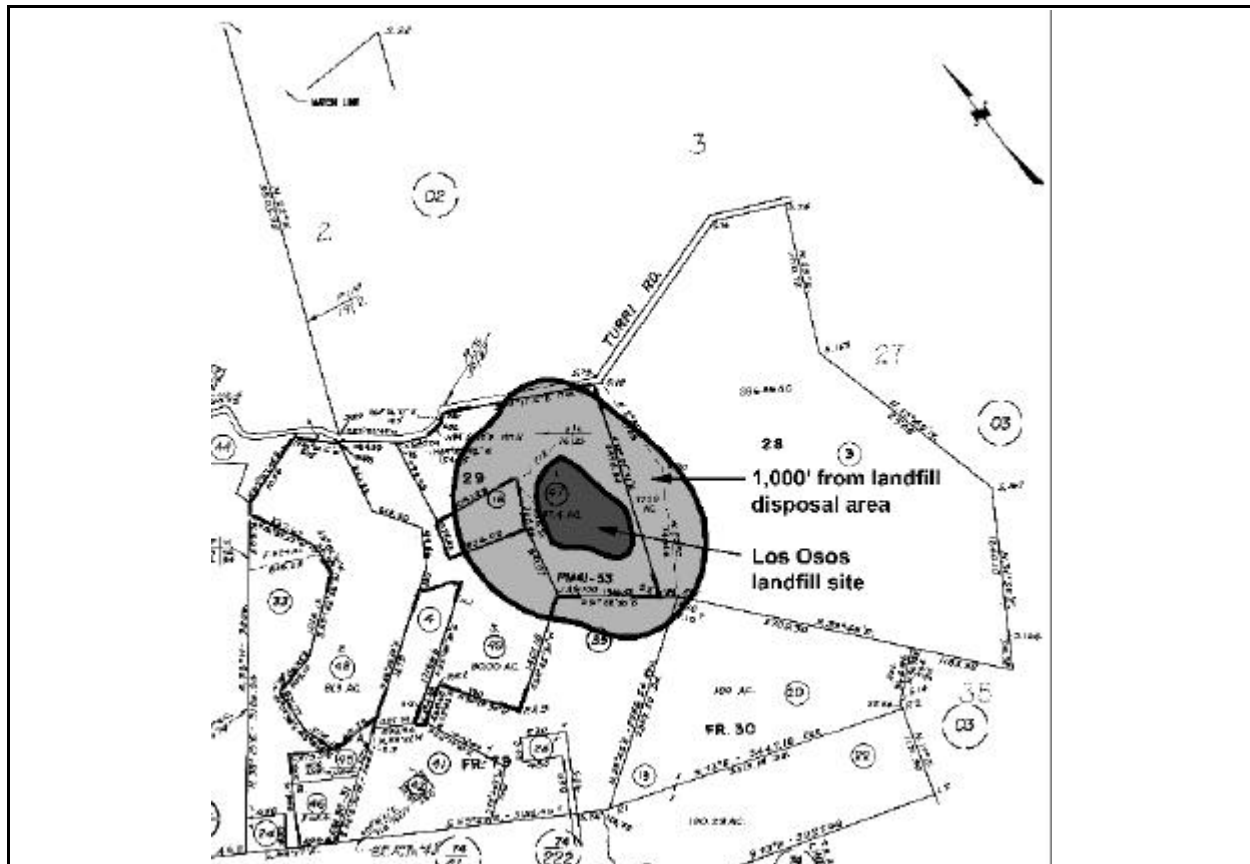


Figure 7-11: Los Osos Landfill Site and 1,000' Radius

~~PUBLIC FACILITY: The following standards apply to lands in the Public Facility land use~~

- ~~1. **Los Osos Landfill.** Expansion or alteration of the landfill site (other than for on-going maintenance) shall require Development Plan review and shall incorporate provisions for correcting the existing and potential sedimentation problems which contribute to off-site impacts. On-going operations shall also be conducted in a manner which minimizes the sedimentation problem.~~

Wastewater Treatment Facility.

~~The following standards apply only to the site located on Turri Road.~~

- ~~2. **Limitation on Use.** Uses identified by Table O, Part I of the Land Use Element and Local Coastal Plan as "A", "S", or "PP" uses are limited to crop production and grazing, pipelines and power transmission, public utility centers, water wells and impoundments, caretakers residence, and ancillary, non-intensive recreation activities.~~
- ~~3. **Permit Requirement.** Development Plan approval is required for a public utility center, pipelines, or non-intensive recreation activities. The Development Plan shall include a site layout plan, architectural plan, landscape plan and grading plan which demonstrate that visual intrusion and impacts of the facility will be minimized. The facility shall be sensitive to and shall maintain and blend with the rural character of the area. The facility shall be screened on the north, west and east utilizing a natural landscape buffer as recommended in the final project EIR. The landscape plan shall incorporate native plant materials to the maximum extent feasible, and in addition, a night lighting plan shall be prepared that is compatible with the rural character of the surrounding area. Setbacks from the coastal streams and riparian habitat and wetland vegetation (on and off-site), shall follow the recommendations contained in a vegetation study of the site to be prepared based upon the final design of the facility and approved by the Planning Department in conjunction with the Environmental Coordinator's Office. A treatment facility contingency plan shall be prepared which identifies the safety measures employed and an action plan to be implemented to prevent untreated influent from the community, treated effluent from the facility, or plant chemicals from entering Warden Creek, Los Osos Creek, and/or Morro Bay. The plan shall be submitted and approved by the office of Environmental Coordinator prior to commencement of construction of the community wastewater system.~~
- ~~4. **Continued Agricultural Use.** The county shall offer for agricultural production the unused portion of prime agricultural land adjacent to and unused by the sewage treatment plant on the site.~~

OPEN SPACE: The following standards apply to lands in the Open Space land use category located outside the urban and village reserve lines.

A. Morro Bay State Park.

- 1. Limitation on Use.** Allowable uses are limited to crop production and grazing (limited to grazing and pasturing only); recreational uses in the cultural, education and recreation use group; coastal accessways; water wells and impoundments.

RURAL AREA: OPEN SPACE CATEGORY

2. **Permit Requirement.** New development shall require Development Plan review, which shall consider potential impacts with regard to surrounding agricultural lands, streams, riparian habitat, wetlands, and traffic on South Bay Boulevard.
- B. **Coastal Terrace West of Cayucos.** The following standard applies to the coastal terrace west of Cayucos, as shown in Figure 7-12.
 1. **Limitation on Use.** Allowable uses shall be limited to crop production and grazing (grazing only); coastal accessways; passive recreation; water wells and impoundments; pipelines and transmission lines.

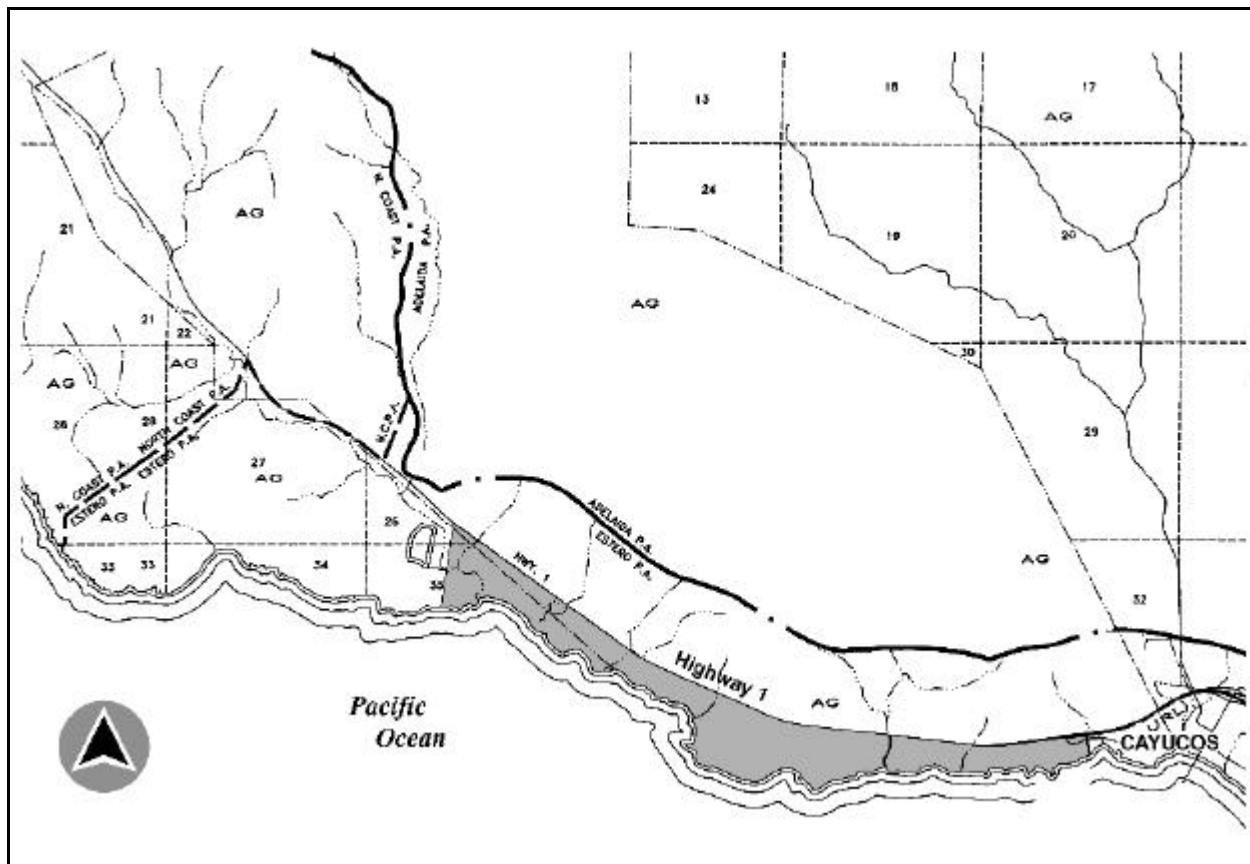


Figure 7-12: Open Space Category: Coastal Terrace West of Cayucos

RECREATION: The following standards apply to lands in the Recreation land use category located outside the urban and village reserve lines.

- A. 1. ~~Limitation on Use--Highway 41.~~** Allowable uses are limited to the existing membership organizations **facilities**, water wells and impoundments, and ~~continuing phased development of the existing mobilehome park with development of recreational vehicle spaces, which would require Development Plan Review.~~
- B. 2. ~~Limitation on of Use and Development--Montaña de Oro State Parks.~~** (This is a visitor-serving priority area). **Allowable uses, development of recreational facilities, and ongoing management of Montaña de Oro State Park shall be in accordance with approved Development Plan D90119D, as may be amended or superseded. Annual progress reports shall be submitted to the county as called for in the approved Development Plan. Proposed development within the jurisdiction of the California Coastal Commission is subject to Coastal Commission review and approval. Uses allowed by Coastal Table O shall be limited to recreation, agricultural activities, coastal accessways, and water wells and impoundments. New development shall require Development Plan review.**
- C. Seaward of Highway 1 Between the City of Morro Bay and the Cayucos Urban Reserve Line**
- 1. 3. ~~Limitation on Use.~~** **Allowable** uses shall be limited to passive recreation ~~activities; caretaker's residence provided no land divisions are required; pipelines and~~ transmission **lines** and receiving facilities; coastal accessways; and water wells and impoundments.
- 4. ~~Permit Requirements.~~** ~~Minor Use Permit approval is required for all uses unless a development plan is required by the LUE or the Coastal Zone Land Use Ordinance.~~
- 2. 5. ~~Development Standards.~~** New development proposals are subject to the following standards:
- a. ~~Geologic bluff setback.~~** **As determined by a site stability evaluation prepared by a certified engineering geologist based upon an on-site evaluation,** development shall be set back from the top edge of the bluff sufficiently to withstand bluff erosion and wave action for a period of 75 years without construction of a shoreline protective ~~device~~ **structures that would in the opinion of the Planning Director require substantial alterations to the natural landforms along bluffs and**

RURAL AREA: RESIDENTIAL SUBURBAN CATEGORY

~~cliffs. In any case, the minimum setback shall be, or at least 25 feet, whichever is the greater distance.~~

- b. Height limit.** Development shall not exceed 14 feet in height.
- c. Location.** Development shall be located adjacent to the existing developed area to the north, with driveway access from Studio Drive.

RESIDENTIAL SUBURBAN: The following standards apply to land in the Residential Suburban land use category located outside the urban and village reserve lines.

- A. 1. Minimum Parcel Size--Lots Adjoining Agricultural Area North of Tapidero Avenue Road.** Minimum parcel size for lots adjoining the Agricultural land use category designation to the north of Tapidero Avenue shall be 5 acres.

V. B. CAYUCOS URBAN AREA STANDARDS

The following standards apply within the Cayucos urban reserve line to the particular land use categories or specific areas listed.

COMMUNITYWIDE: The following standards apply to all lands within the Cayucos Urban Reserve Line Area, unless otherwise specified for certain areas.

A. Resource Capacity and Service Availability

- 1. Land Divisions: Finding.** New land divisions, other than condominium conversions, shall not be approved unless the review authority makes a finding that there are sufficient water and sewer capacities to serve development resulting from the proposed land division, existing development (at current rates of water use and occupancy), and all vacant parcels at buildout under this plan.
 - 2. Land Divisions and Land Use Permits: Application Content.** All applications for new land divisions and land use permits for new development shall be accompanied by letters from the applicable water purveyor and the Cayucos Sanitary District stating their intent to serve the proposed project.
 - 3. ~~1.~~ Building Permits: Clearance for Services. ~~--District Authorization Required--~~** All applications for building permit approval within the community of Cayucos are to be accompanied by a letter or other verification from the Cayucos Fire Protection District, the applicable water purveyor, and the Cayucos Sanitary District indicating that the proposed project has received fire clearance and water service and sewer connection approvals.
- B. Building Height.** Exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply to any planning area standards that specify maximum building height or building face height.
- C. Condominium-Hotels and Motels.** Hotels and motels that are condominiums or planned development projects may be permitted in accordance with Chapter 23.08 of the Coastal Zone Land Use Ordinance wherever hotels and motels are allowable uses.
- D. Parking Lot Design--Central Business District.** The following standards are intended to facilitate a more pedestrian-friendly environment downtown as illustrated in Figure 7-13. These standards apply to publicly and privately-owned parking lots in the

central business district that are defined as vehicle storage per Table O in Coastal Framework for Planning, or are accessory to another allowable principal use. The standards are in addition to the parking design standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance.

- 1. Parking Lot Location.** Where feasible, locate parking areas to the rear or side of buildings.
- 2. Access.** Minimize the number of driveways. Where feasible, access to parking areas shall be taken from side streets, alleys, or the less busy street.
- 3. Size of Parking Areas.** Wherever possible, separate the parking lot into smaller, connected areas of 20 or less cars, interrupted by planted areas and sidewalks.
- 4. Pedestrian Connections.** Wherever possible, provide safe, convenient, and landscaped pedestrian connections between parking areas, walkways and businesses; and between businesses and surrounding neighborhoods.

E. Cayucos Drive Area. The following standards apply within the Cayucos Drive Area as shown in Figure 7-14.

- 1. Cayucos Elementary School Area.** This standard applies to all parcels within a 120-foot radius around the Cayucos Elementary School, as shown in Figure 7-14.
 - a. Limitation on Uses.** In addition to any applicable limitation on uses described elsewhere in this chapter, the following uses are also not permitted: residential care consisting of drug and alcohol rehabilitation centers and halfway houses; eating and drinking places that serve alcohol; food and beverage retail sales that serve alcohol.
 - b. Land Use Compatibility.** The location, type and design of new development subject to Minor Use Permit and Development Plan approval shall ensure compatibility with the Cayucos Elementary School and nearby residential development. Development proposals shall:
 - i.** Minimize the number of vehicle trips.
 - ii.** Assure that all manufacturing and processing operations are either conducted within an enclosed building or screened from public streets by a solid wall or fence.

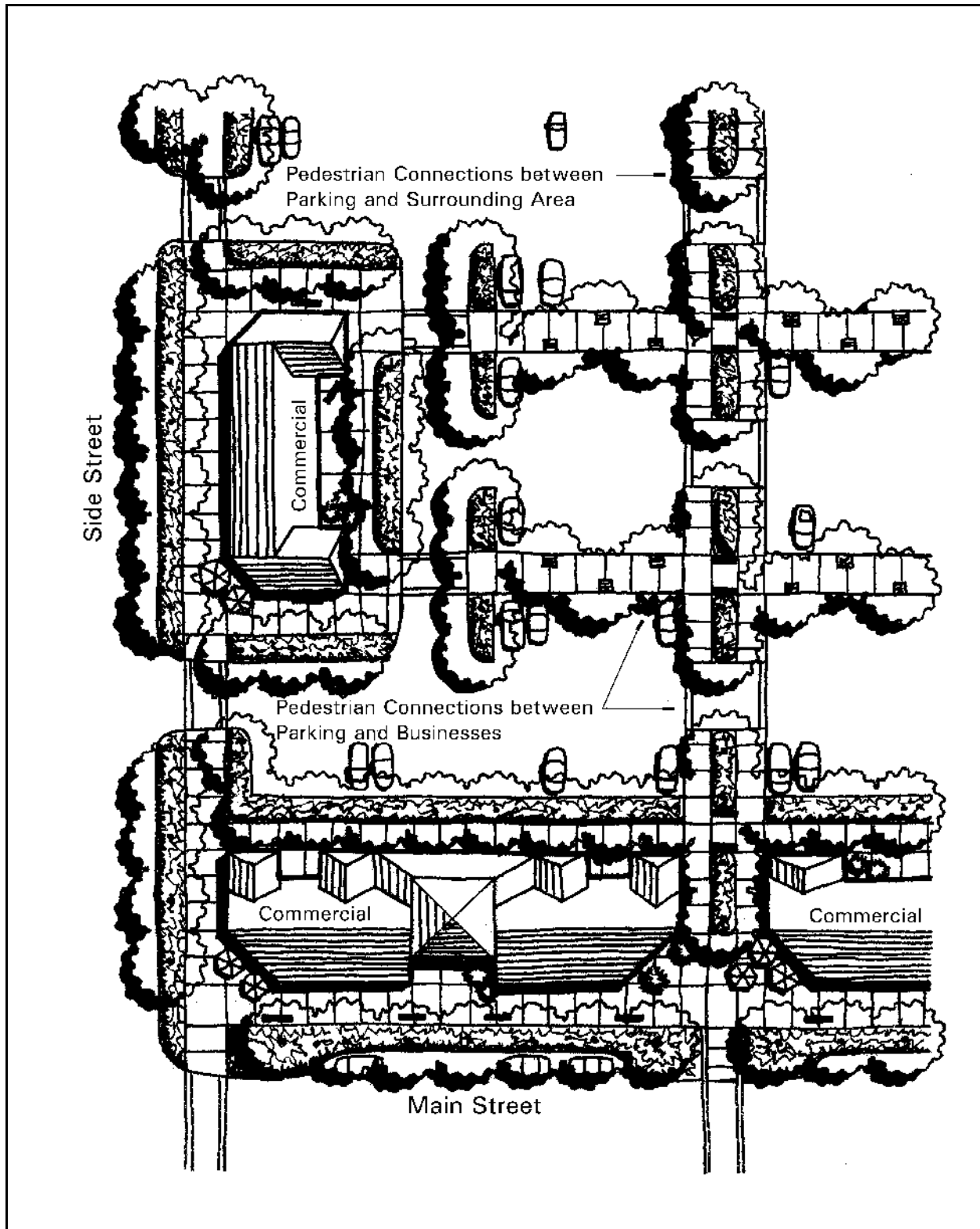


Figure 7-13: Parking Lot Design--Central Business District

CAYUCOS URBAN AREA: COMMUNITYWIDE

- iii. Demonstrate compliance with Noise Element policies and implementation measures, and with the air quality and other operational standards in Coastal Zone Land Use Ordinance Chapter 23.06.

Office and Professional Category. See the listing of standards under Office and Professional for additional standards within the Cayucos Drive Area.

F. West of Cayucos Creek. The following standards apply within the area west of Cayucos Creek as shown in Figure 7-15.

1. **Circulation Improvements.** New development shall provide a Class II bikeway and pedestrian walkway adjacent to North Ocean Avenue, and improved pedestrian and bicycle access across Cayucos Creek in the following locations:
 - a. Along the frontage of the site
 - b. From the site to the east side of Cayucos Creek

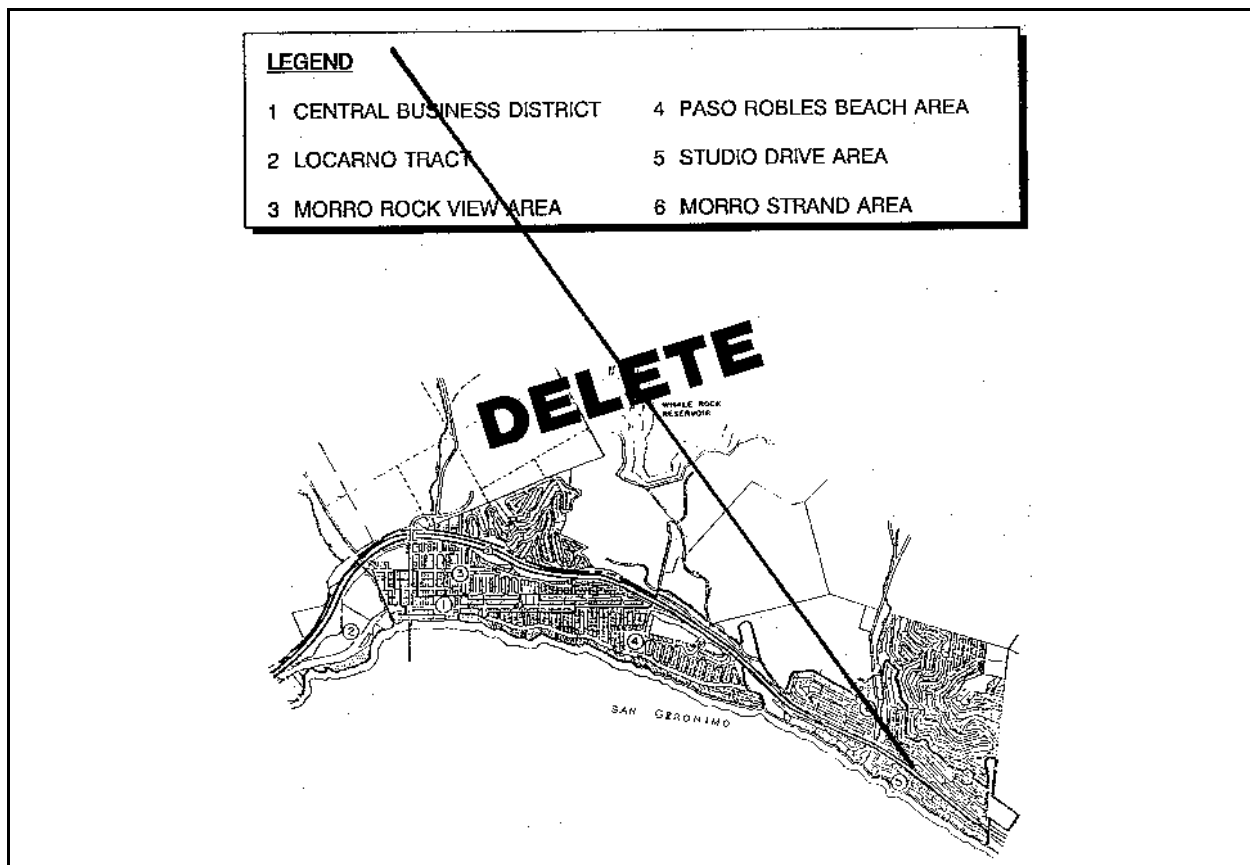


Figure 7-1: Cayucos Location Map

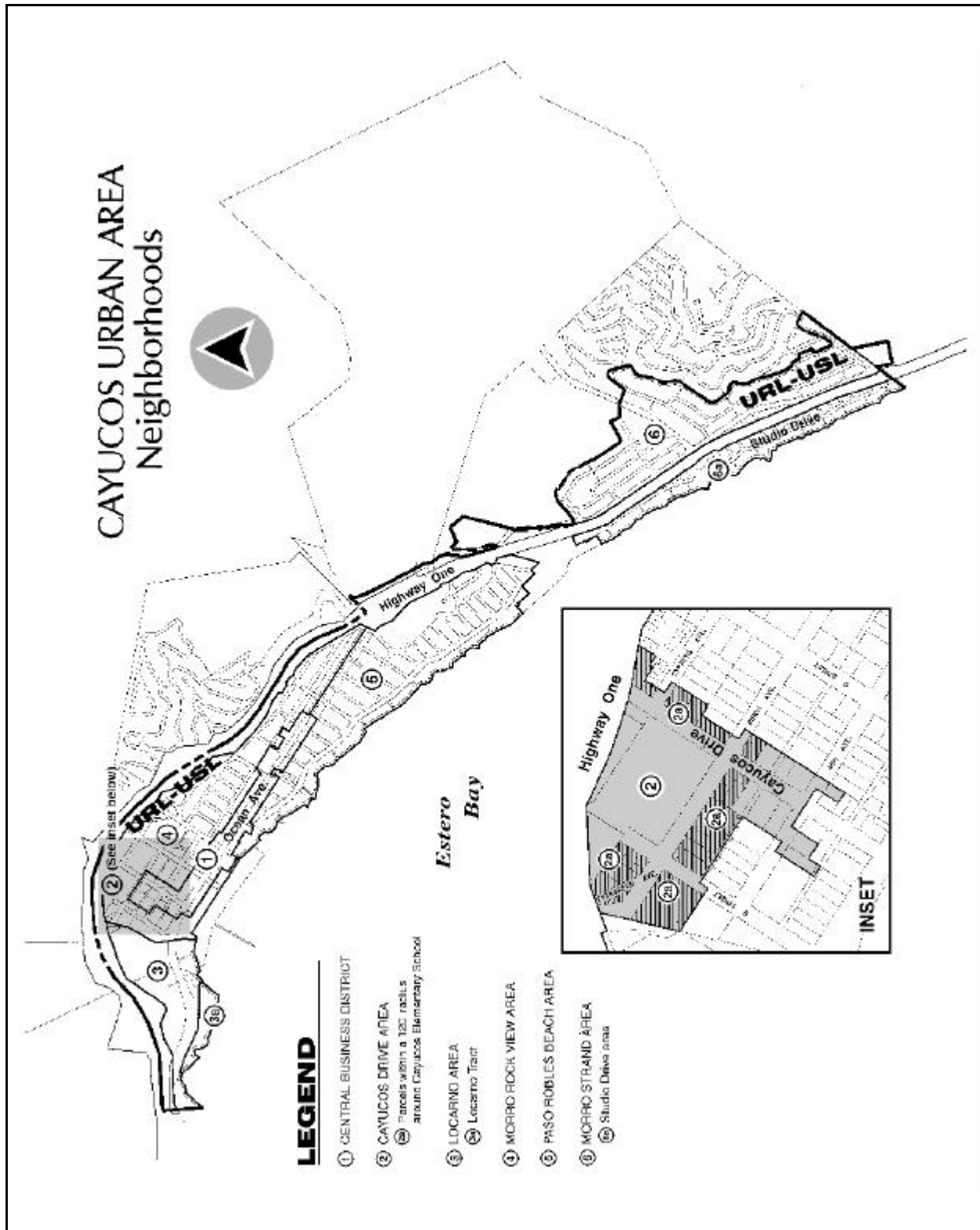


Figure 7-14: Cayucos Location Map

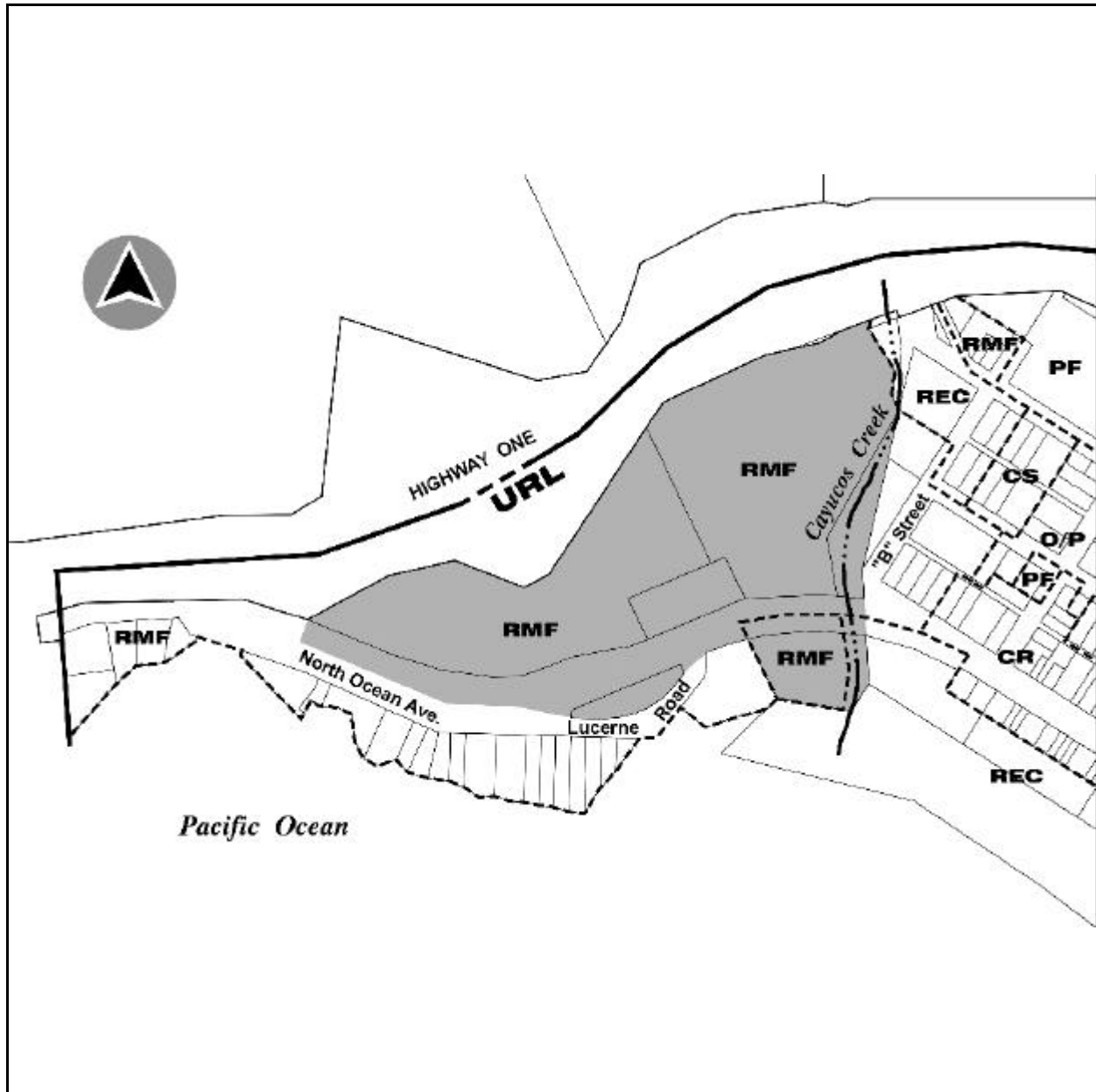


Figure 7-15: Area West of Cayucos Creek

G. 2. Setbacks - Communitywide. Unless specified in other Cayucos Urban Area standards, the following special setbacks in Table 7-1 apply to the respective neighborhoods shown on Figure 7-14 8-1. Where no setback is listed, it shall be determined by applicable sections of the Coastal Zone Land Use Ordinance.

1. a. Bluff Setbacks. Bluff setbacks shall be in accordance with the Coastal Zone Land Use Ordinance, except that the minimum setback shall be 25 feet in any case. 25-foot minimum unless a geologic report prepared by a registered civil engineer or other qualified professional indicates that a larger setback is necessary to withstand 75 years of bluff erosion.

b. Morro Rock View and Morro Strand Subdivisions:

Front:	10 feet
Side:	3 feet
Rear:	5 feet
Corner-side:	5 feet

Except that no front yard setbacks are required on lots in Block 18 fronting on Park Avenue.

c. Paso Robles Beach. The following special building setbacks apply to Paso Robles Beach Subdivisions Nos. 1, 2 and 3:

(1) Front Setback. The minimum front setback on all lots is 15 feet, except as follows:

0 feet: All lots along the west side of Pacific Avenue.

5 feet: Sub. 1, Blk. 5, Lot 2.

Sub. 3, Blk. 16, Lots 1-3 (double frontage setback from both 23rd and 24th Streets).

10 feet: All lots along the east side of Pacific Avenue.

Sub. 1, Blk. 20, Lot 1.

Sub. 3, Blk. 10, all lots.

Sub. 3, Blk. 14, all lots.

Sub. 3, Blk. 15, Lots 1-7.

Sub. 3, Blk. 15, Lots 12-19.

Sub. 3, Blk. 16, Lots 1-4.

~~(2) **Side Setback.** The minimum side setback on all lots is 3 feet, except as follows:~~

~~5 feet: Sub. 1, Blk. 5, Lot 1, north side.
Sub. 1, Blk. 5, Lot 2, east side (west
side must meet rear setback for ocean
bluff top).~~

~~10 feet: Sub. 2, Blk. 6, Lot 19, east side.
Sub. 2, Blk. 9, Lot 1, east side.~~

~~(3) **Corner Side Setback.** The minimum side setback on the street side of a corner lot is 5 feet, except as follows:~~

~~0 feet: All corner sides along the west side of Pacific Avenue.~~

~~10 feet: All corner sides along the east side of Pacific Avenue.~~

~~(4) **Rear Setback.** The minimum rear setback on all lots is 10 feet, except as follows:~~

~~3 feet: Sub. 1, Blk. 5, Lot 2.
Sub. 3, Blk. 16, Lot 1.~~

~~5 feet: Sub. 3, Blk. 12, Lots 11 and 12.
Sub. 3, Blk. 13, Lots 11 and 12.
Sub. 3, Blk. 15, Lots 8-11.
Sub. 3, Blk. 16, Lots 1-4.~~

~~15 feet: Sub. 1, Blk. 5, Lot 1.~~

~~d. **Studio Drive Area:**~~

~~(1) **West of Studio Drive**~~

~~Front: 0 feet
Side: 3 feet~~

~~(2) **East of Studio Drive**~~

~~Front: 10 feet
Side: 3 feet
Rear: 5 feet~~

Table 7-1, Cayucos Urban Area Special Setbacks--Communitywide

LOCATION						MINIMUM SETBACKS (FT) ¹					
AREA	AREA-WIDE	SUB. NO.	BLOCK	LOTS	OTHER	BLUFF	FRONT	SIDE	STREET SIDE	REAR	REMARKS
BLUFF-TOP LOTS	X					25					Larger setbacks required where necessary to withstand 75 years of bluff erosion (see Standard G1)
MORRO ROCK VIEW, MORRO STRAND AREAS	X						10	3	5	5	See below for Block 18
			18		Lots fronting on Park Ave.		0	3	5	5	
STUDIO DRIVE AREA (see "Bluff-top Lots" where applicable)					West of Studio Dr.		0	3			
					East of Studio Dr.		10	3		5	
PASO ROBLES BEACH AREA (see "Bluff-top Lots" where applicable)	X						15	3	5	10	See below for Sub. Nos. 1, 3
					Lots along west side of Pacific Ave.		0				
					Lots along east side of Pacific Ave.		10				
		3	16	1-3			5				Setback from 23rd, 24th Streets
		1	5	2			5				

		1	20	1			10				
1	Where no setback is listed, it shall be determined by applicable sections of the Coastal Zone Land Use Ordinance										

Table 7-1 Cont'd, Cayucos Urban Area Special Setbacks--Communitywide

LOCATION						MINIMUM SETBACKS (FT) ¹					
AREA	AREA- WIDE	SUB. NO.	BLOCK	LOTS	OTHER	BLUFF	FRONT	SIDE	STREET SIDE	REAR	REMARKS
PASO ROBLES BEACH AREA (see “Bluff-top Lots” where applicable)		3 3 3 3 3	10 14 15 15 16	All All 1-7 12-19 1-4			10				
		1 1	5 5	1 2	North side East side			5			West side: bluff
		2 2	6 9	19 1	East side East side			10			
					West side Pacific East side Pacific				0 10		
		1 3	5 16	2 1						3	
		3 3 3 3	12 13 15 16	11,12 11,12 8-11 1-4						5	
		1	5	1						15	
1 Where no setback is listed, it shall be determined by applicable sections of the Coastal Zone Land Use Ordinance											

Residential Design Guidelines Outside of Community Small-Scale Design Neighborhoods: Wall Articulation and Relief.

The following guidelines apply to all new residential development outside of Community Small-scale Design Neighborhoods in order to create visual relief and interest.

- ! *Avoid long, uninterrupted exterior walls on all structures*
- ! *Provide detail and articulation on all sides of residences through measures such as:*
 - ! *Using relief elements and changes in plane*
 - ! *Off-setting the wall plane to express interior spaces and provide outdoor spaces*
 - ! *Creating an interesting blend of shadows, in-sets, varied materials and textures*
 - ! *Using design measures and elements such as the following: wall bays with relief at least every 20 feet; pop-out, bay windows; in-set windows; window trim; trellises; arcades or verandas; changes in materials*

See Figure 7-16 for examples of wall articulation and relief.



Figure 7-16: Wall Articulation and Relief

COMBINING DESIGNATIONS: The following standards apply to lands in the Geologic Study Area (GSA), Local Coastal Plan (LCP) and Sensitive Resource Area (SRA) combining designations located within the Cayucos Urban Reserve Line, as listed below.

A. Geologic Study Areas (GSA)

1. **Morro Bay & Cayucos Hillsides.** A geologic report ~~prepared by a certified engineering geologist~~ is required for hillside development proposals ~~adjacent to Morro Bay and the Cayucos Urban Reserve Line.~~

2. Seawalls

- a. **Redevelopment.** New seawalls that require substantial alteration to the natural landforms along bluffs and cliffs are not permitted in connection with alteration of existing development that equals or exceeds 75 percent of the replacement cost (as determined by the County Fee Ordinance) of the existing structure. Instead, the development shall be set back in accordance with the required blufftop setbacks in Chapter 23.04 of the Coastal Zone Land Use Ordinance.
- b. **Design and Appearance.** New seawalls and seawall replacements shall be constructed using materials that minimize required maintenance and blend in with the surrounding built and natural environment.
- c. **Location.** New seawalls and seawall replacements shall be located entirely on private property and shall not cause adverse impacts to sensitive habitat.

Guideline: Proposed seawalls should include undulating irregular forms, rock and rock-like concrete, compatible colors, and planting; discourage straight lines and harsh, smooth surfaces

B. Local Coastal Plan (LCP)

1. **Vehicular Use of Accessways.** New development ~~shall~~ is not to use beach accessways for vehicular access.
2. **Lateral Access Requirement.** New development located between the sea and the first public road shall be required to make an offer of dedication of lateral access extending from the toe of the bluff to mean high tide, or where applicable, to the inland boundary of the ~~public beach state park holding.~~

C. Sensitive Resource Area (SRA)

1. **Setbacks - Coastal Streams.** Development shall be setback from the following coastal streams as shown in Table 7-2. the minimum distance established below. Such setbacks shall be measured from the outer limits of riparian vegetation or the top of the stream bank where no riparian vegetation exists. This may be adjusted through the procedure provided in the Coastal Zone Land Use Ordinance.

Table 7-2, Coastal Stream Setbacks

COASTAL STREAM	SETBACK (FEET) ¹
Cayucos Creek	25 50 25 feet from either bank
Little Cayucos Creek	20 feet from either bank
Old Creek	50 feet from either bank
Willow Creek, inland of Ocean Blvd.	20 feet from either bank — north of Ocean Avenue
Willow Creek, seaward of Highway 1, in Tract 1078	50, no residential development within floodplain
1 Required setbacks are measured from the top of stream bank, and may be adjusted per Chapter 7, Coastal Zone Land Use Ordinance, except adjacent to Willow Creek, west of Highway 1 in Tract 1078	

COMMERCIAL RETAIL: The following standards apply only to lands within the Commercial Retail land use categories.

- A. 1. Architectural Character.** New development shall include a detailed facade plan which reflects western, or victorian style or nautical/seaside architecture. The facade plan shall show articulation of building facades to create relief and visual interest by using architectural elements, such as Elements of this plan could include the use of 50% wood or wood-appearing materials; detailed window trims and moldings; second-story railings and balconies; wooden porches, railings, entryways, walkways, etc. Examples of architectural elements are shown in Figures 7-17 and 7-18.
- B. Building Height.** Maximum building height shall be 30 feet, except as otherwise required in the central business district (see the following standard C).
- ~~2. Height Limitation.~~ Heights shall be limited to 30 feet.
- ~~3. Setbacks - Central Business District.~~ The rear building setback of the northern corner lot at Ocean Avenue and 4th Street (APN 64 131 22) is 10 feet.

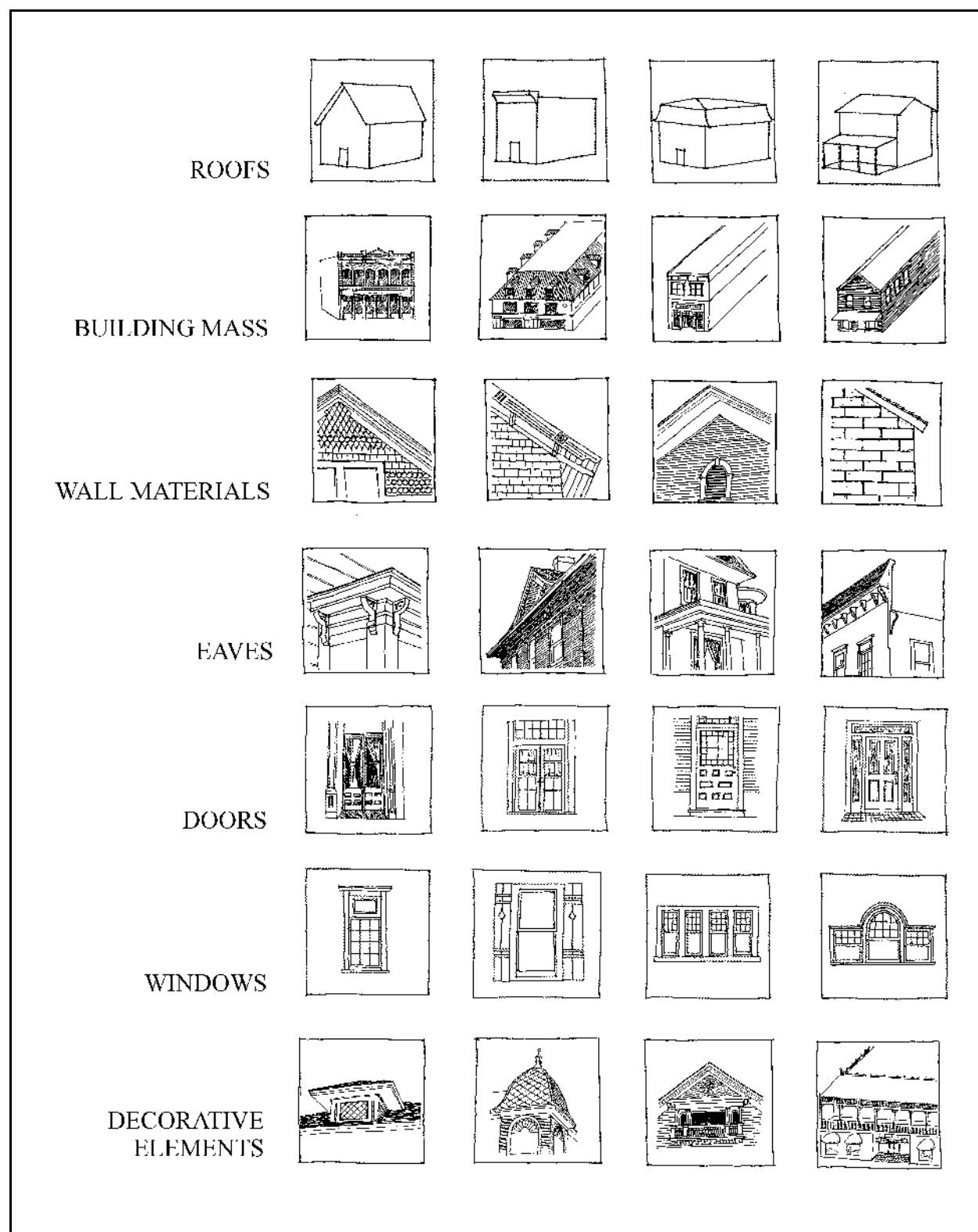


Figure 7-17: Examples of Victorian Architectural Elements

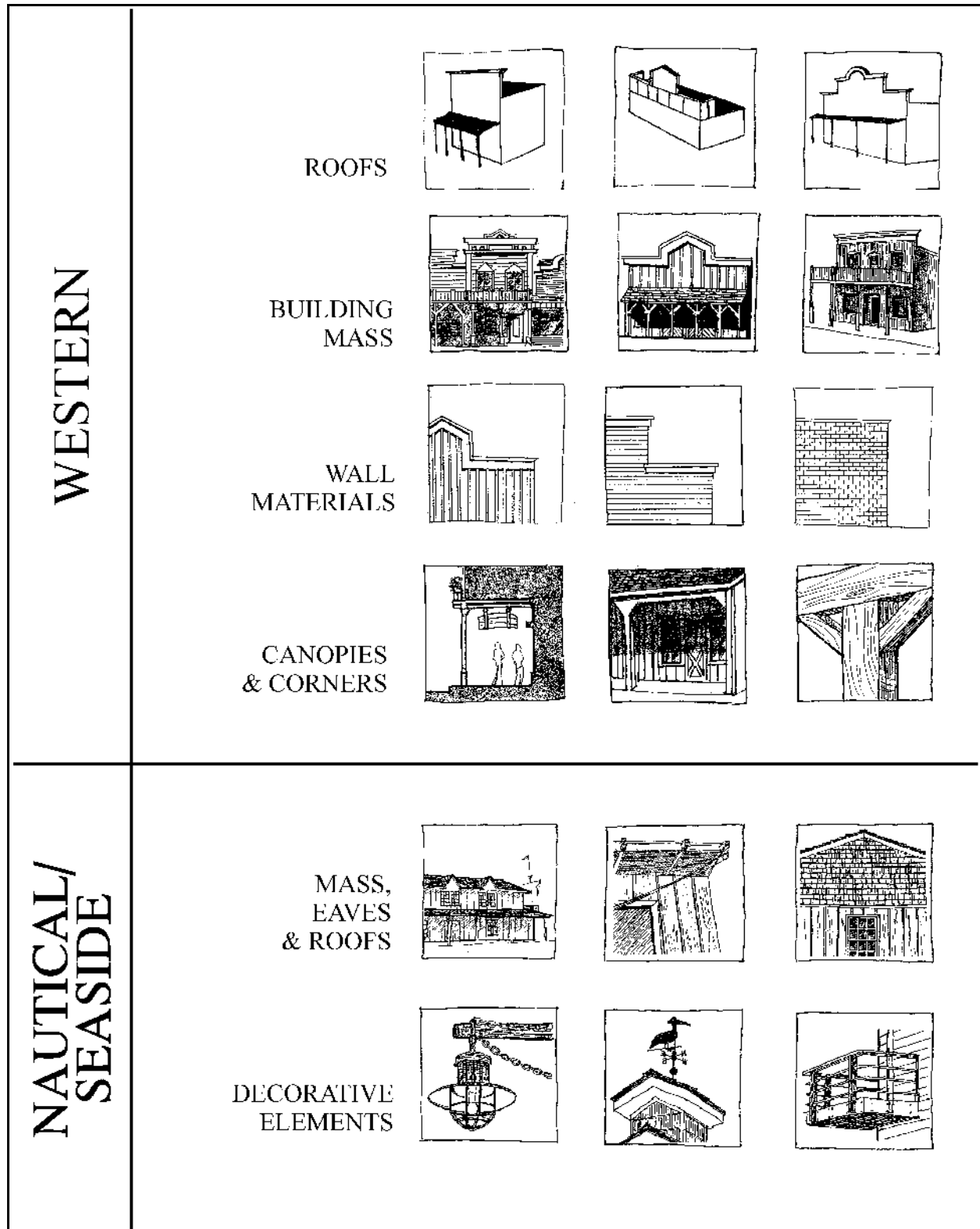


Figure 7-18: Examples of Western and Nautical Architectural Elements

C. Central Business District. The following standards apply within the central business district as shown in Figure 7-14.

- 1. Building Location.** In order to create a pedestrian-friendly environment, locate the front facades of new buildings adjacent to the street or other public spaces such as internal plazas.
- 2. Pedestrian Connections.** Wherever possible, provide safe, convenient and landscaped pedestrian connections between parking areas, walkways and businesses; and between businesses, recreation areas, and surrounding neighborhoods.
- 3. Building Height, Properties With No Frontage on Ocean Avenue.** Maximum building height for properties that do not have any frontage on Ocean Avenue shall be 28 feet.
- 4. Building Height, Mass, Scale, and Pedestrian Orientation, Ocean Avenue.** The following standards are intended to reduce the visual massing of buildings in the central business district, while allowing a wide range of two-story building designs. The following standards apply only to properties having frontage on Ocean Avenue, as illustrated in Figure 7-20.
 - a. Measurement of Height.** Building and plate heights shall be measured from the center line of Ocean Avenue, at a point midway between the two side property lines projected to the street center line, to the highest point of the structure. However, on lots having an average natural grade less than the Ocean Avenue center line elevation--as measured above--building and plate heights shall be measured from the average natural grade of the lot to the highest point of the structure.
 - b. Building Height.** All proposed development, including additions and building replacement, shall meet all of the following:
 - (1)** Buildings shall be no more than two stories, not to exceed 28 feet in height. Basements, parking areas and building floors that are six feet or more below street level and that have a finished floor not more than four feet above street level do not count as a storey.
 - (2)** Maximum plate height shall be 24 feet. Above that height, only pitched roofs or decorative elements are allowable.
 - (3)** No wall facing a public street shall be greater than 24 feet above finished grade. No other wall shall be greater than 28 feet above finished grade.

- c. **Exceptions.** No exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall be allowed.

Guidelines:

- ! *Reduce building mass as seen from streets by designing the building to appear as several smaller structures where possible, rather than one larger one. This can be accomplished by varying the appearance of the building facade every 20 to 30 feet.*
 - ! *Place store entrances/display windows at frequent intervals such as 25 feet in order to maintain visual interest for pedestrians.*
 - ! *Use transparent glass windows or doors that together comprise more than 50 percent of the entry facade at ground level in order to allow pedestrians to see inside.*
 - ! *Where feasible, use shared driveways or an alley to gain access to uses that front on North and South Ocean Avenues.*
5. **Projections into Front Right-of-Way.** Awnings, trellises, and other accessory building structures that are relatively open and do not restrict pedestrian or vehicular movement may project into the front right-of-way, subject to an encroachment permit from the County Public Works Department. Decorative structures or architectural elements may project from upper floors into the front right-of-way, provided that they are not designed to be occupied by persons, and the space between the sidewalk and the first floor building face is open and usable to the general public (see Figure 7-19).

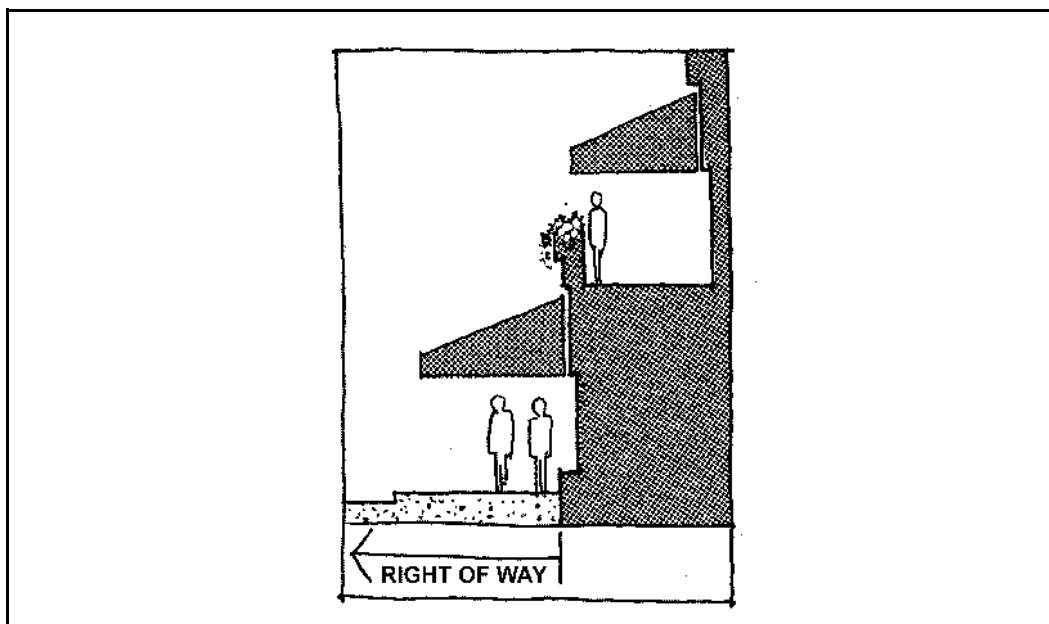


Figure 7-19: Projections Into Right-of-Way

CAYUCOS URBAN AREA: COMMERCIAL RETAIL

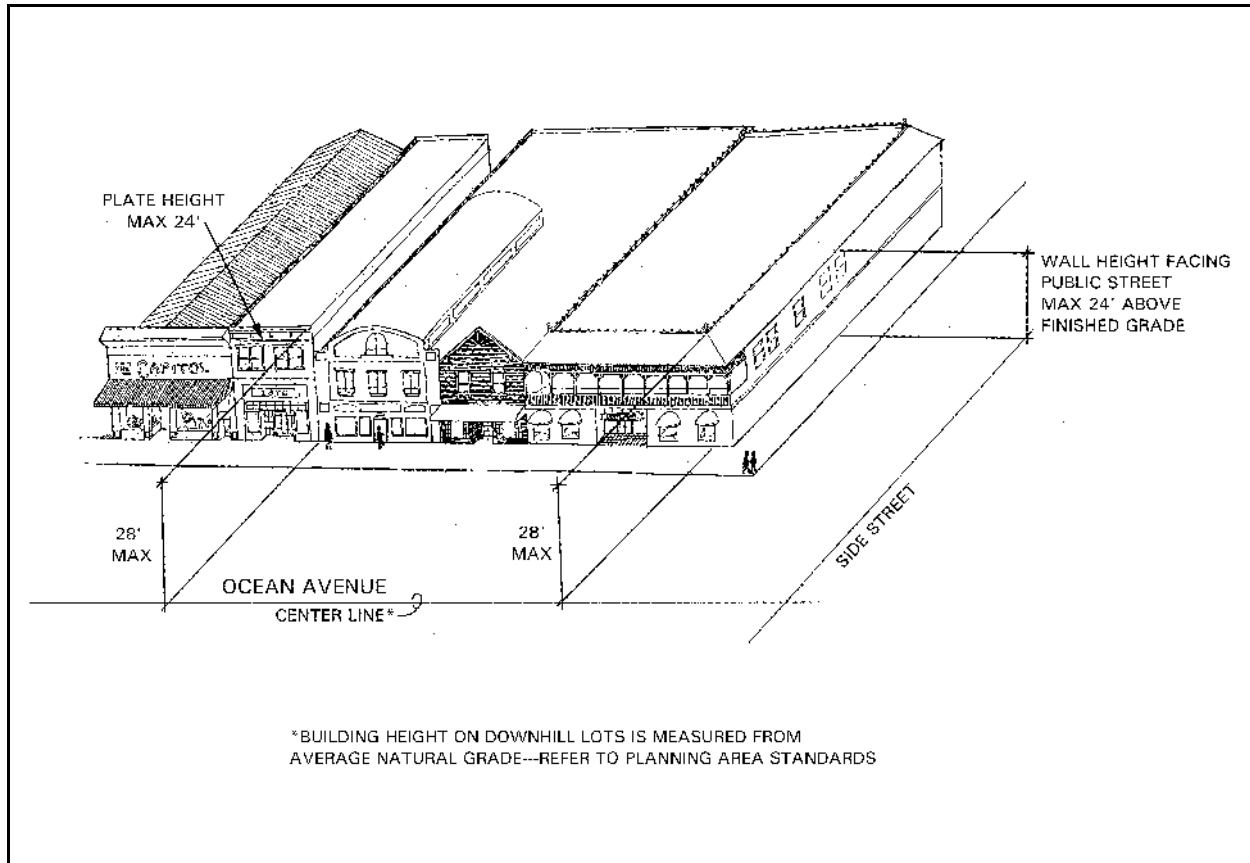


Figure 7-20: Building Height, Mass and Scale on Ocean Avenue in Central Business District

6. Mixed-Use Development.

The following standards are intended to encourage provision of a mixture of residential and non-residential uses on the same site in appropriate locations, consistent with the intent of this visitor-serving priority area. Such mixed-use development can increase opportunities for development of affordable housing. Development of non-visitor-serving uses in accordance with these standards will not prejudice the provision of adequate visitor-serving facilities to meet the foreseeable demand during the horizon of this plan. Residential development shall be subject to the standards in Chapter 23.08 of the Coastal Zone Land Use Ordinance--Residential uses in Office and Professional or Commercial categories--except that where those standards conflict with the following standards, the following standards shall prevail.

- a. Findings Required.** Before approving an application for a mixed-use development, the review authority shall make the following findings, in addition to those required by Chapter 23.08 of the Coastal Zone Land Use Ordinance:
 - (1)** Mixed-use development will not remove or convert existing lower-cost visitor-serving or recreational facilities unless replaced by a facility offering comparable opportunities.
 - (2)** Mixed-use development will not adversely affect parking and access for existing or future visitor-serving and recreational uses. In particular, new residential uses will not diminish opportunities for parking for existing or expanded visitor serving or recreational uses on the same site. This finding may be satisfied if new residential development is accompanied by new visitor-serving or recreational development on the same site.
- b. Secondary Use.** Residential development shall be subordinate to the primary non-residential use(s) on the same site. Residential development, excluding garages, shall comprise no more than 50% of the floor area of the primary non-residential use, except that where this results in a residential floor areas of less than 1,200 square feet, the review authority may approve a greater amount of residential floor area, up to the amount of the primary non-residential use and not to exceed 1,200 square feet.
- c. Location.** Residential development shall only be located on the second or upper story--above the primary non-residential use.
- d. Parking.** Residential development shall have one on-site parking space per bedroom, with a minimum of two spaces per unit.

- e. Floor Area and Open Area.** The maximum floor area and minimum open area requirements in Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply. Instead, the land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project.
- f. Residential Density.** Maximum residential density shall be 10 dwelling units per acre, calculated using the acreage of the entire mixed use site.
- g. Total Residential Development.** The total amount of residential development, including caretaker residences, in the Commercial Retail category within the central business district shall not exceed 96 dwelling units.
- h. Caretaker Residence.** Caretaker residences shall comply with preceding mixed-use standards 6b and 6c.
- iii. Transient Lodging.** Hotels, motels and bed and breakfast facilities shall not be converted to residential uses, and residential additions to those transient lodging uses shall not be permitted, except for one manager's unit per facility.

Guideline--Ground Floor Uses

- !** *In order to attract customers and promote pedestrian activity, retail uses are encouraged on the ground floor fronting the street, while office, residential and other non-retail uses should be located on the upper floors or on the rear portion of the site.*

- ~~**D. North of the Veteran's Building.** (This is a visitor-serving priority area). The following standards shall apply to the Commercial designation north of Cayucos Creek~~
- ~~**4. Limitation on Use.** Principal permitted uses are limited to: coastal accessways; eating and drinking places (not including drive-in restaurants, fast food and refreshment stands); general merchandise stores (limited to tourist-oriented uses such as gift shops and art galleries); hotels and motels. Non-principal permitted uses are limited to public assembly and entertainment (when accessory to a hotel and motel); bed and breakfast facilities; and those cultural, education, and recreation uses (excluding libraries, membership organizations, schools, and social service organizations) normally allowed by Coastal Table O.~~
- ~~**5. Site Design Criteria - Public Access.** Site design (for the commercial retail property located north of the Veteran's Building along Cayucos Creek) shall incorporate public access to and along the bluff top for a scenic vista. In addition, lateral beach access from the toe of the bluff to the mean high tide line, consistent with public safety and sensitive habitat concerns, shall be provided.~~

D. Ocean Blvd. South of Old Creek Road. The following standard applies to the area in the Commercial Retail category between Ocean Blvd. And Highway One, south of Old Creek Road, as shown in Figure 7-21. This category is intended to serve primarily neighborhood commercial needs.

- 1. Limitation on Use.** Uses are limited to: nursery specialties--non-soil dependent; broadcasting studios; allowable uses in the cultural, education and recreation use group; recycling collection stations; printing and publishing; caretaker residence; home occupations; multi-family dwellings as a principal use; water wells and impoundments; eating and drinking places; food & beverage retail sales; general merchandise stores; mail order and vending; outdoor retail sales; financial services; health care services; offices; personal services; public safety facilities; consumer repair facilities; pipelines and transmission lines.

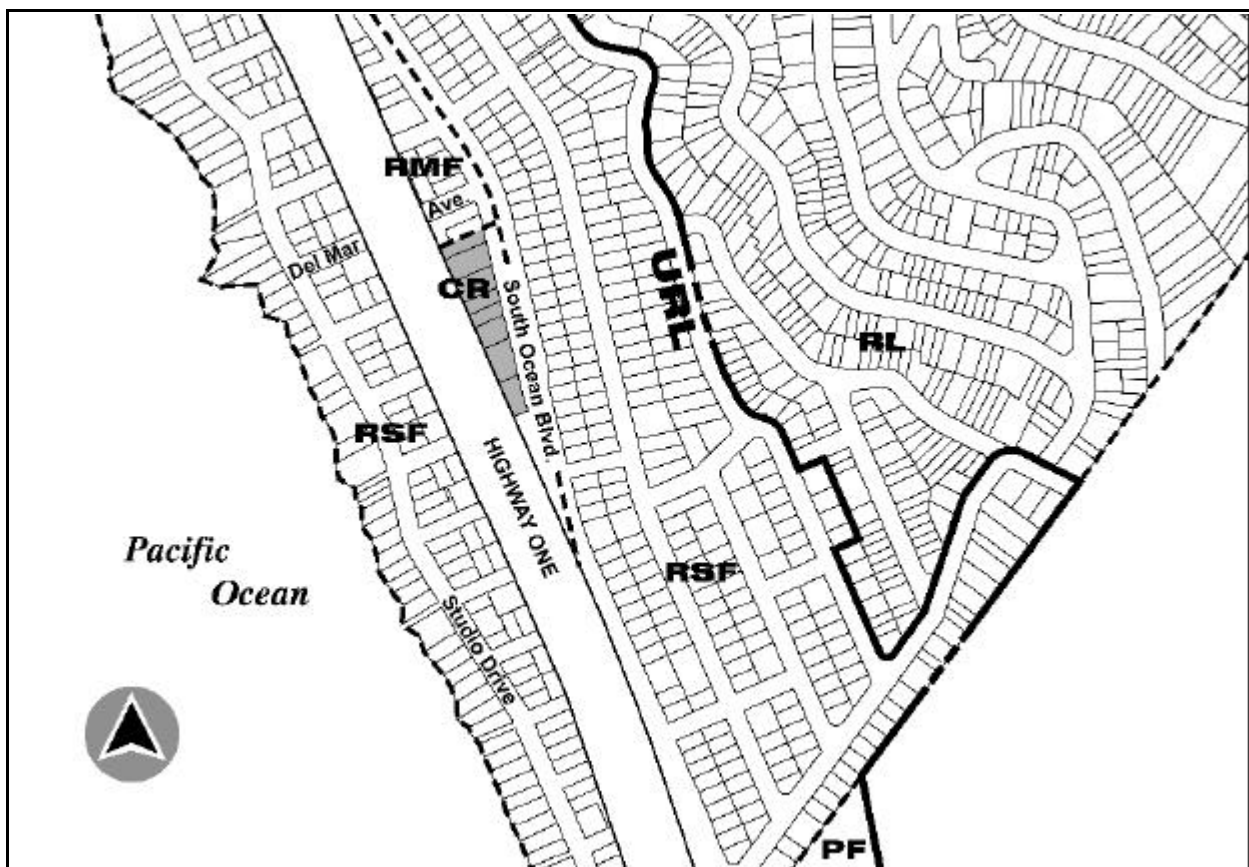


Figure 7-21: Commercial Retail Category: Ocean Blvd. South of Old Creek Road

OFFICE AND PROFESSIONAL: The following standards apply only to lands within the Office and Professional category.

A. South Ocean Avenue East of 4th Street. The following standards apply only to the area along South Ocean Avenue east of 4th Street.

- 1. Building Height, Mass, Scale, and Pedestrian Orientation.** For properties having frontage on South Ocean Avenue, all proposed development, including additions and building replacement, shall comply with the preceding Commercial Retail category standards for building height, mass, scale, and pedestrian orientation on Ocean Avenue.
- 2. Mixed-Use Development.** Development of residential and non-residential uses on the same site shall be subject to all preceding mixed-use development standards and guidelines for the Commercial Retail category.

Lots fronting on both South Ocean and Saint Mary Avenues. The following standards apply only to the existing motel on Lots 10 through 12 and 25 through 29, Block 11, Morro Rock View Subdivision No. 4 (see Figure 7-22):

- ~~3. 1. Limitation on Use.~~ Allowable uses identified as "A" or "S" or "PP" by Coastal Table O, Part I of the Land Use Element are limited to a motel and caretaker's residence.
- ~~2. Approval Requirements.~~ Approval requirements for redevelopment shall include the following:
 - ~~a. Density.~~ The maximum number of motel units, including management or caretaker's quarters, shall be 13.

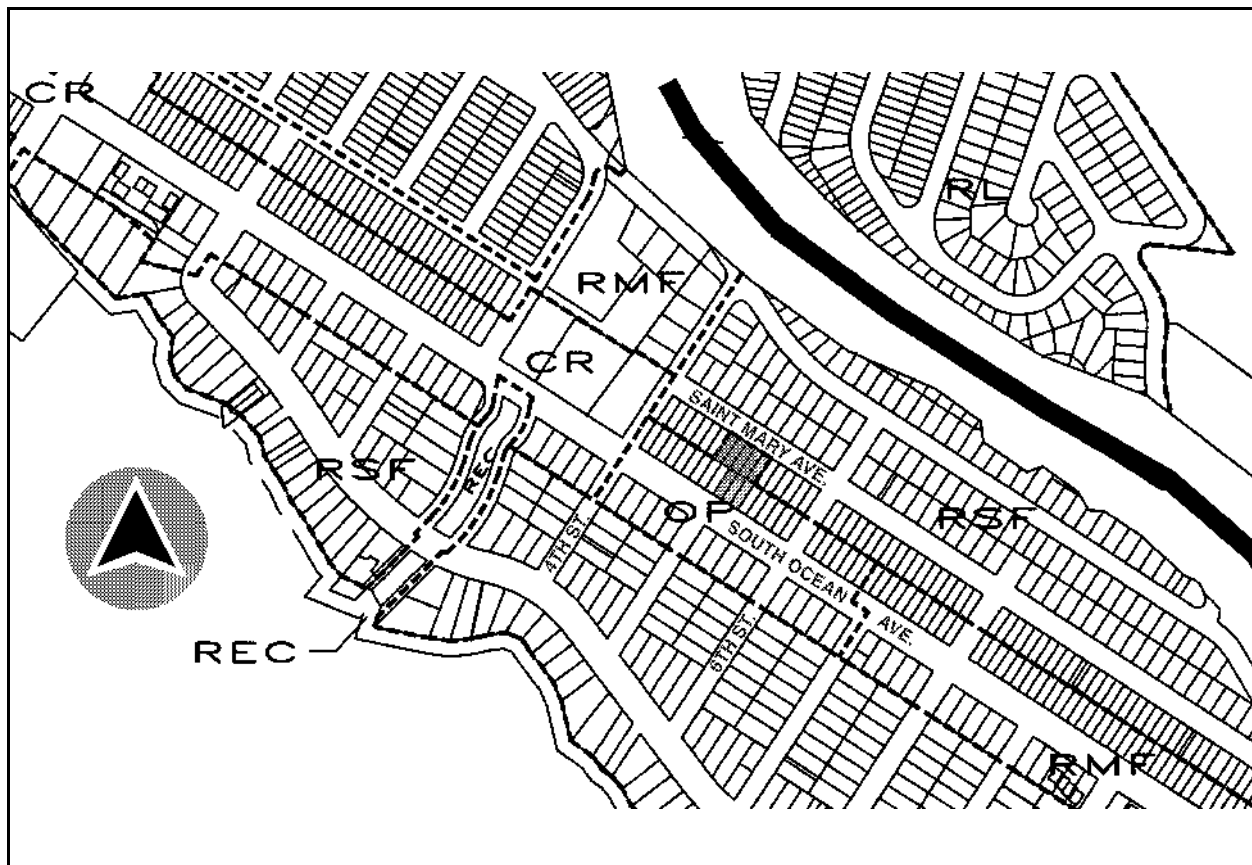


Figure 7-22: Lots Fronting on Both South Ocean and Saint Mary Avenues

- 4.b. Access.** ~~No guest~~ All access to the property **is permitted** ~~to be closed~~ from Saint Mary Avenue.
- 5.e. Setbacks.** The building setback from Saint Mary Avenue is to be 10 feet and the side setbacks from adjacent Residential Single Family lots is to be 3 feet.
- d. ~~Appearance.~~** ~~The rear of the motel facing Saint Mary Avenue is to be in visual harmony with residential uses along the street through appropriate architectural and/or landscaping treatment.~~

B. Cayucos Drive Area. The following standards apply within the Office and Professional category in the Cayucos Drive area as shown in Figure 7-14.

- 1. Residential Development.** Single-family dwellings on lots smaller than 6,000 square feet and multi-family dwellings on lots of 6,000 square feet and larger may be authorized as principal uses by Minor Use Permit approval and shall have a maximum density of 10 dwelling units per acre. It has been determined that approval of residential uses will not significantly reduce the community's inventory of commercial property needed to serve the population and will not impede the continuing orderly development of this area.
- 2. Mixed Use Development.** Mixed use projects that combine residential uses with office or other allowable uses are encouraged. Residential development need not be subordinate to an office or non-residential use, provided that residential density complies with the preceding standard. Residential development may be detached from the building occupied by office or non-residential uses.
- 3. Height.** Buildings shall not exceed a height of 28 feet above average natural grade, consistent with Coastal Zone Land Use Ordinance Chapter 23.04
- 4. Setbacks--Residential Uses.** Where a residential use is the primary use of a site, minimum setbacks are as follows:
 - a. Front Setback.**
 - (1)** Where the garage entrance faces the street: a minimum of 20 feet from the garage, and a minimum of 10 feet from all areas of the dwelling unit other than the garage.
 - (2)** Where the garage entrance is parallel to the street or not directly visible from the street, and there is sufficient room in the driveway to accommodate one vehicle: 10 feet.
 - b. Side and Rear Setbacks.** As required for Residential land use categories in Coastal Zone Land Use Ordinance Chapter 23.04.
- 5. Office and Commercial Development and Design.** New non-residential development shall be designed to be compatible with the residential character of the adjacent neighborhood and shall comply with the following:
 - a. Site Design.** Driveways, parking areas and service entrances shall be designed to minimize conflicts with adjacent residential uses or categories.

- b. Setbacks From Residential.** The minimum setback of buildings occupied by non-residential uses from the property lines of residential buildings or land use categories shall be within the building envelope described as follows and illustrated in Figure 7-23. Setback areas shall be landscaped per Coastal Zone Land Use Ordinance Chapter 23.04.

The minimum setback is six feet for the first 12 feet of non-residential building height. For each additional one foot of building height, the setback **for that portion of the building** is increased by one-half foot.

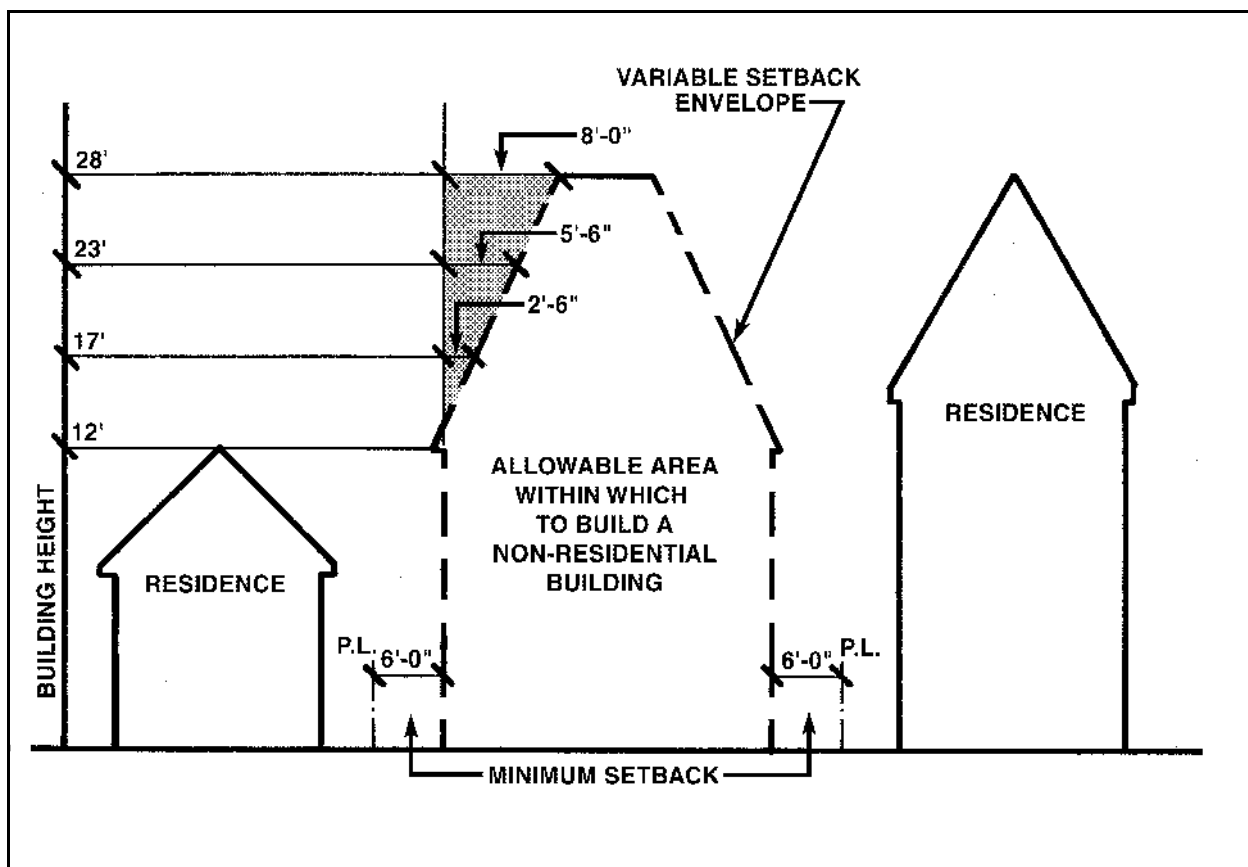


Figure 7-23: Office and Commercial Setbacks from Residential

RECREATION: The following standards apply only to lands within the Recreation land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards.

~~1. **Cayucos State Beach General Development Plan.** As a condition of approval for any permit application for development within Cayucos State Beach, the State Department of Parks and Recreation shall prepare and submit a general development plan to include the following:~~

- ~~a. Provision of additional parking spaces.~~
- ~~b. Consideration should be given to extending the Cayucos pier to increase sports fishing and boating opportunities where a finding can be made that the project is consistent with resource protection. (This is a visitor-serving priority area.)~~

THE FOLLOWING STANDARD MOVED TO CHAPTER 6, PROGRAMS

~~2. **Morro Strand State Beach Improvements.** The State Department of Parks and Recreation shall complete the following improvements:~~

- ~~a. Improvement of a paved parking area south of Old Creek.~~
- ~~b. Picnic tables and restrooms.~~
- ~~c. Interpretive signs describing the Old Creek lagoon and riparian habitat.~~
- ~~d. All improvements at this location shall be consistent with the protection of the sensitive wetland habitat.~~

A. The following standards apply to the approximately 1.8-acre property located on the south side of North Ocean Avenue, west of and adjacent to Cayucos Creek, labeled "REC" in Figure 7-28.

1. Limitation on Use. Allowable uses are limited to the following, as shown for the Recreation land use category in Table O, Coastal Framework for Planning: uses in the "Cultural, Education & Recreation" use group, excluding the following five uses: libraries and museums, membership organization facilities, off-road vehicle courses, schools (specialized education and pre to secondary), and social service organizations;

uses in the “Residential Uses” use group; eating and drinking places; general merchandise stores (limited to tourist-oriented uses such as gift shops and art galleries); bed and breakfast facilities; hotels, motels; and pipelines and transmission lines.

2. Residential Density. The maximum residential density shall be 10 dwelling units per acre; 15 dwelling units per acre if the review authority makes the finding that there is sufficient sewer capacity and supplemental water to serve development resulting from the proposed project, existing development (at current rates of water use and occupancy), and all vacant parcels at buildout, assuming the proposed density of up to 15 units per acre in the RMF category. These maximum densities may be exceeded for:

- a. Affordable housing in accordance with Coastal Zone Land Use Ordinance standards, or
- b. Senior citizen housing in accordance with the following Residential Multi-Family development standards for senior citizen housing, in which case such housing shall have a maximum density of 38 dwelling units per acre.

RESIDENTIAL MULTI-FAMILY: The following standards apply only to lands within the Residential Multi-Family land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards, and to Section V, Cayucos Urban Area Communitywide standards for residential design guidelines outside of Community Small-Scale Design Neighborhoods.

A. ~~1.~~ Density. Maximum residential density for new projects, ~~except for senior citizen housing (see the following standard), affordable housing in accordance with the Coastal Zone Land Use Ordinance, and except for development on the 10-acre parcel north of the Locarno Tract (see the standards in Section E, North of Locarno Tract)~~ shall be as follows:

1. 10 dwelling units per acre; or
 2. 15 units per acre ~~only after a General Plan Amendment is approved that increases buildout of the community to accommodate the increased development potential, and~~ if the review authority makes the finding that there is sufficient sewer capacity and supplemental water to serve development resulting from the proposed project, existing development (at current rates of water use and occupancy), and all vacant parcels at buildout, assuming the proposed density of up to 15 units per acre in the RMF category.
 3. Maximum residential density for the parcel west of Cayucos Creek labeled “Bella Vista” in Figure 7-28 shall be 26 units per acre if outside the service area of a water purveyor and if adequate supplemental water can be obtained.
- ~~a. For site greater than one acre, the density shall not exceed 26 units per acre.~~
- ~~b. For sites one acre or less, the density shall not exceed 15 units per acre.~~

B. Development Standards--Senior Citizen Housing. The following standards apply to senior citizen housing located within 0.5 mile (straight line distance) of the central business district. Senior citizen housing consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over; or b) residential development consisting of at least 35 dwellings specifically designed to meet the physical and social needs of persons aged 55 and over. In the Residential Multi-Family land use category, senior citizen housing includes accommodations for independent living and/or assisted living.

- 1. Residential Density.** Maximum residential density shall be 38 units per acre.
 - 2. Floor Area and Open Area.** The land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project. There is no maximum floor area limitation; however, in no case shall the minimum open area fall below 40%, as defined in Chapter 23.04 of the Coastal Zone Land Use Ordinance.
 - 3. Parking.** Parking spaces shall be provided at a ratio of 0.75 space per dwelling unit in accommodations for independent living, and 1 space per 3 dwelling units in assisted living accommodations.
 - 4. Design.** Projects shall be sensitively designed to meet the special physical and social needs of senior citizens, especially with regard to: general safety; safe and convenient pedestrian access on gentle slopes, both within the project and connecting to community services and facilities; recreational choices; environmental amenities; social interaction; and integration with the larger community.
- C.-2. Height Limitation.** Maximum allowable building height shall be 28 feet, except as follows:
- 1.** ~~that lots~~ On the seaward west side of North and South Ocean Avenues as shown in Figure 7-24: shall be a maximum of 22 feet.
 - 2.** In the Locarno Tract as shown in Figures 7-14 and 7-24: a maximum of 20 feet. **MOVED FROM ORIGINAL STANDARD 3 THAT FOLLOWS**
 - 3.** ~~Height - Locarno Tract.~~ The maximum allowable building height shall be 20 feet. **MOVED TO PRECEDING SECTION C**
 - 4.** ~~Density - Locarno Tract.~~ Maximum residential density shall be 15 dwelling units/ acres.

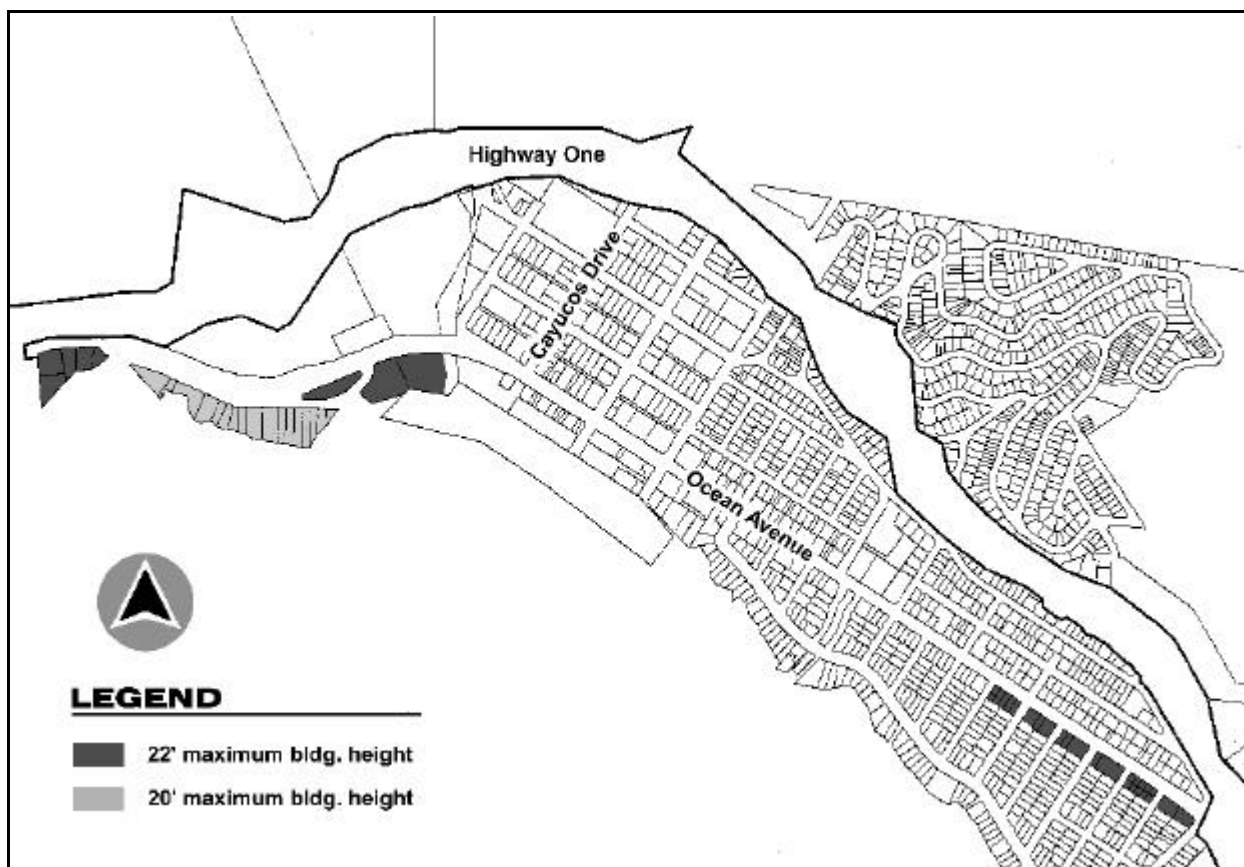


Figure 7-24: Residential Multi-Family Categories Seaward of Ocean Avenue

D. Curb, Gutter and Sidewalk Improvements

- 1. Waiver of Curb, Gutter and Sidewalk Improvement Requirements.** Installation of curbs, gutters and sidewalks in connection with land uses or land divisions is not required in the areas shown in Figures 7-25 through 7-27, except where needed for drainage purposes as determined by the County Public Works Department. In all other areas, the requirements for curbs, gutters and sidewalks shall be as provided in the Coastal Zone Land Use Ordinance. This standard notwithstanding, curbs, gutters and sidewalks may be installed pursuant to an assessment district or similar mechanism for financing such improvements.
- 2. Alternative Walkways.** Curbs, gutters and walkways are required in the area north of the central business district bounded by E Street, Cayucos Drive and Highway 1 as shown in Figure 7-27; however, alternative walkways such as boardwalks are allowable in place of standard concrete sidewalks.

ESTERO AREA PLAN UPDATE
NOVEMBER 2004

CAYUCOS URBAN AREA: RESIDENTIAL MULTI-FAMILY CATEGORY

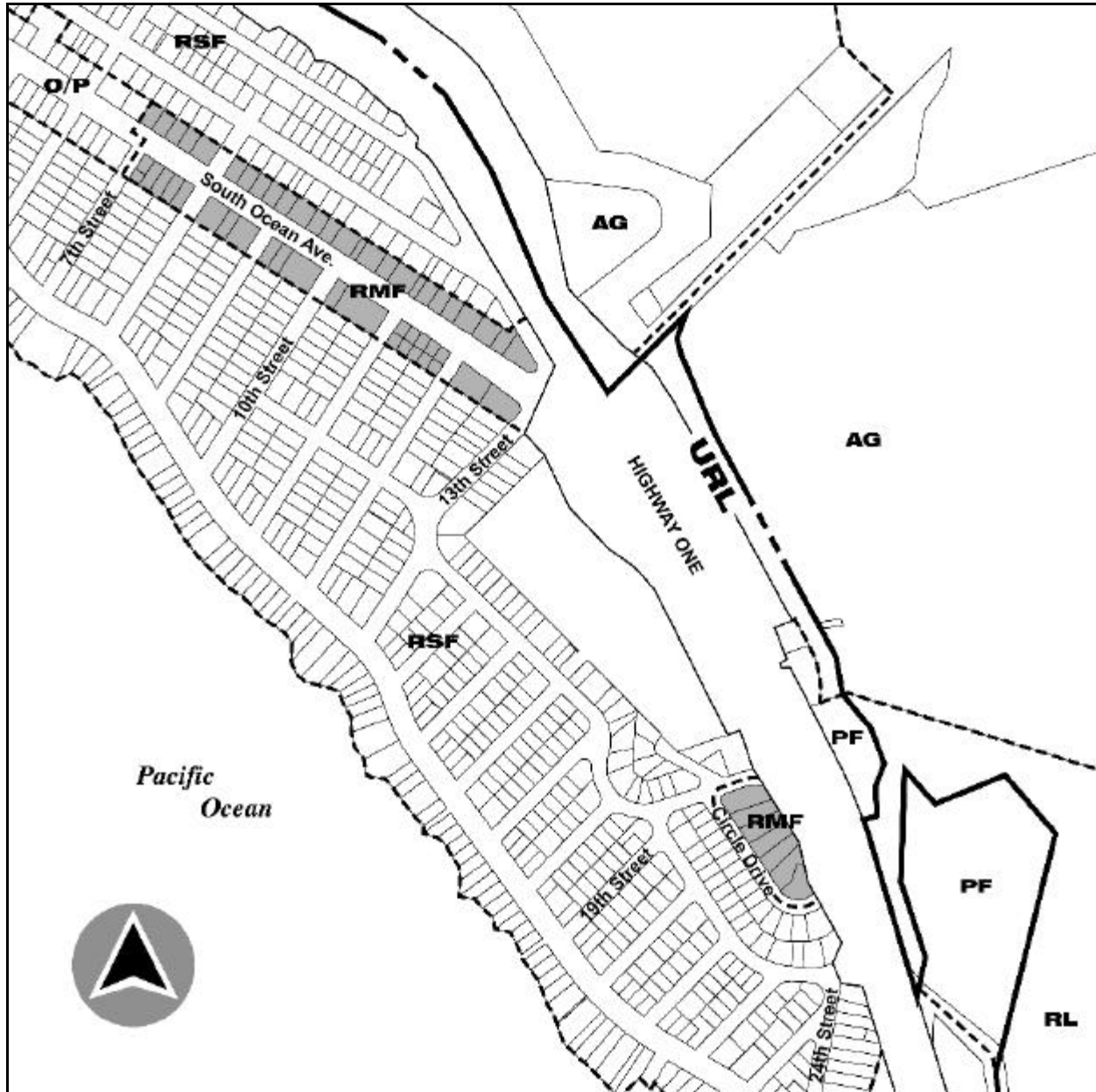


Figure 7-26: Waiver of Curb, Gutter, Sidewalk Improvement Requirements

CAYUCOS URBAN AREA: RESIDENTIAL MULTI-FAMILY CATEGORY

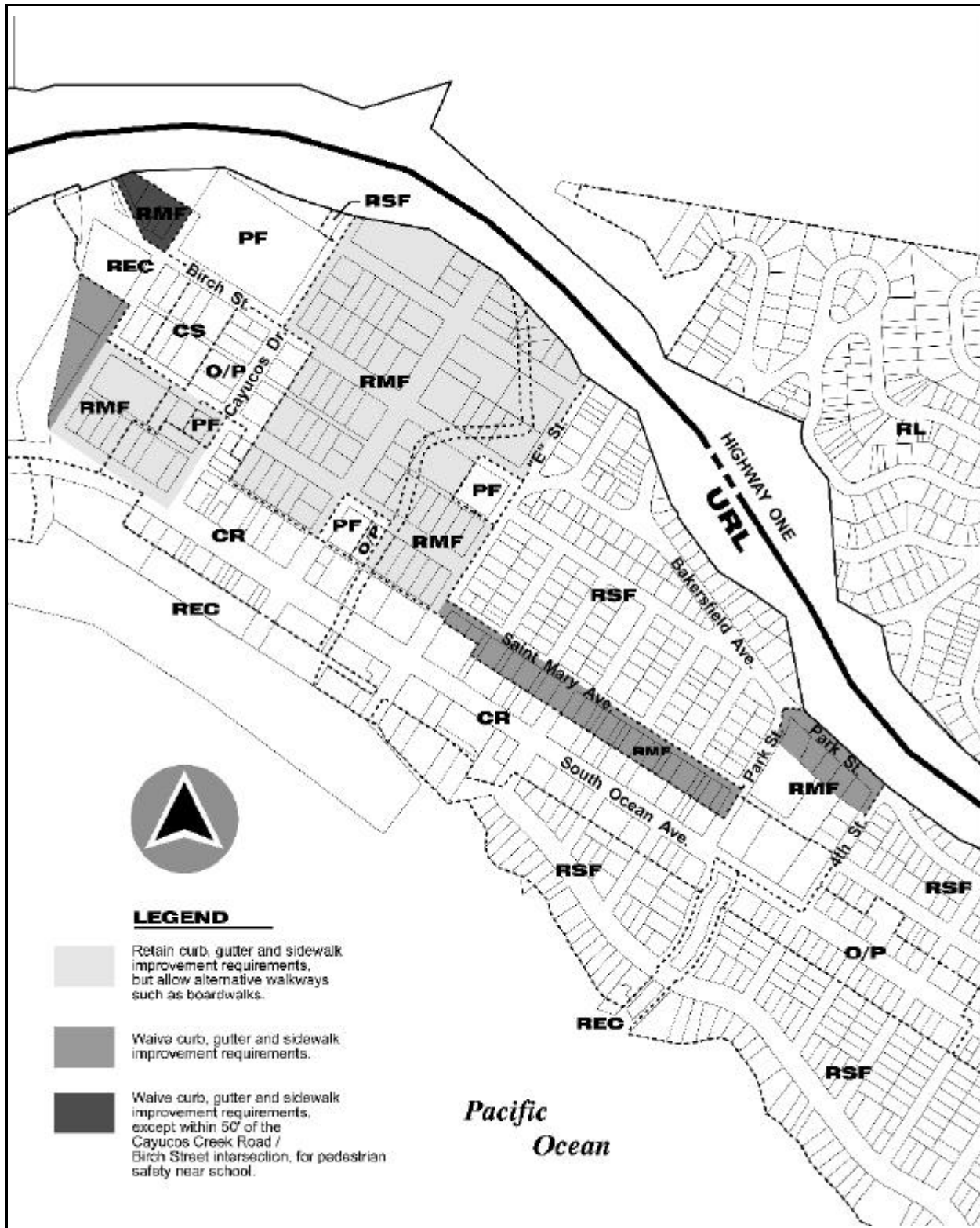


Figure 7-27: Waiver and Retention of Curb, Gutter, Sidewalk Improvement Requirements

- E. North of Locarno Tract.** The following standards apply to the approximately 10-acre parcel located between North Ocean Avenue and Highway 1, north of the Locarno Tract, as shown in Figure 7-28.
- 1. Limitation on Use.** Allowable uses shall be limited to single family dwellings, multi-family dwellings, mobilehomes, and residential accessory uses.
 - 2. Multi-Family and Planned Developments.** All development shall be part of a Planned Development and comply with all applicable standards in the Coastal Zone Land Use Ordinance for such projects.
 - 3. Application Content.** The land use permit application shall include a visual analysis prepared by a licensed architect, licensed landscape architect or other qualified person acceptable to the Director of Planning and Building. The visual analysis shall make recommendations as to the location and design of development in order to minimize visual impacts as seen from Highway One and North Ocean Avenue.
 - 4. Open Space.**
 - a.** At least 65 percent of the site shall be permanently reserved as undeveloped open space to protect scenic vistas. A road may be included within this open space, only if it is needed to provide access to the eastern portion of the site, and access cannot otherwise be provided to that portion of the site (see Figure 7-28). The access road shall be located to minimize grading and visual impacts.
 - b.** The required amount of open space shall be guaranteed through an open space or conservation easement, dedication of fee or partial fee title to a public or quasi-public agency, or other mechanism that achieves the goal of permanent protection of undeveloped open space.
 - 5. Number of Dwellings.** The maximum number of dwelling units shall be 10 if at least 65 percent of the site is permanently reserved as undeveloped open space to protect scenic vistas; 15 dwelling units if 75 or more percent of the site is so reserved.
 - 6. Location of Development.**
 - a.** All development shall be located below an elevation of 80 feet above sea level and on slopes less than 20 percent. An exception may be approved in the case of a road, only if it is needed to provide access to the eastern portion of the site, and access cannot otherwise be provided to that portion of the site (see Figure 7-28). The access road shall be located to minimize grading and visual impacts.

CAYUCOS URBAN AREA: RESIDENTIAL MULTI-FAMILY CATEGORY

- b.** All development shall be located where views from Highway 1 and North Ocean Avenue will be least adversely affected, as demonstrated by the required visual analysis.
- c.** The western portion of the site, as shown in Figure 7-28, shall be developed with no more than 50 percent of the total number of dwelling units proposed on the site.
- 7. Type of Dwelling Units.** Multi-family dwellings are not allowable on the western portion of the site, as shown in Figure 7-28.
- 8. Building Height.** Maximum building height shall be 28 feet.
- 9. Building Face Height and Setback.** Building face height and setback shall be as required in Residential Single Family standard C1 for areas outside of Community Small-Scale Design Neighborhoods.

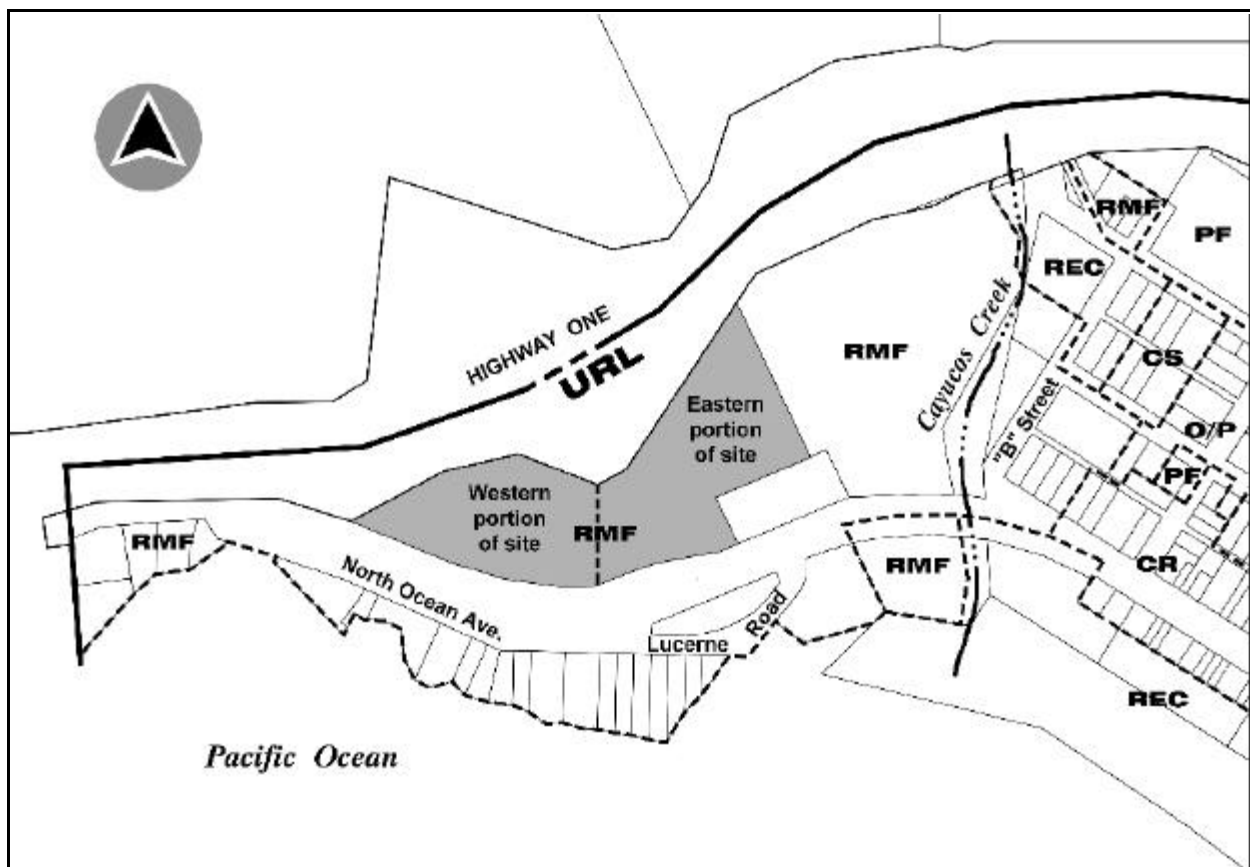


Figure 7-28: 10-Acre Parcel North of Locarno Tract

RESIDENTIAL SINGLE FAMILY: The following standards apply only to lands within the Residential Single Family land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards, and to Section V, Cayucos Urban Area Communitywide standards for residential design guidelines outside of Community Small-Scale Design Neighborhoods.

A. Circulation.

- 1. Road Improvements.** All new dwellings on non-county-maintained roads shall be served by a street at least 26 feet wide fronting the site, and at least 20 feet wide from the site back to the nearest county-maintained road. Improvements shall be made to County Standard A-1 (Rural) at a minimum. Land Divisions shall comply with the road improvement standards in Title 21 of the County Code.

- B. ~~1.~~ Height Limitation.** New development shall not exceed 28 feet, unless a more restrictive height limitation is specified in the following standards.

C. Outside of Community Small-Scale Design Neighborhoods

The following standards apply in areas outside of the Community Small-Scale Design Neighborhoods identified in Figure 7-31. The intent of the following standards is to encourage new development to be in scale with the neighborhood so that it does not appear crowded; to avoid massive-appearing buildings, especially on small lots; and to create visual relief and interest.

- 1. Building Face Height and Setback.** In order to reduce the apparent mass of buildings, the maximum height of the front and rear building faces (including decks and balconies), as measured from the finished grade, shall be as shown in the following table, and the minimum setback from that building face to the next higher story shall be six feet (see Figure 7-29).

Average Slope of Lot Prior to Grading (Percent)	Maximum Height of Front and Rear Building Face From Finished Grade (Ft.)
Less Than 20	22
20 and Greater	24

A building face may exceed these heights only if all of the following are met:

- a. A Minor Use Permit is approved

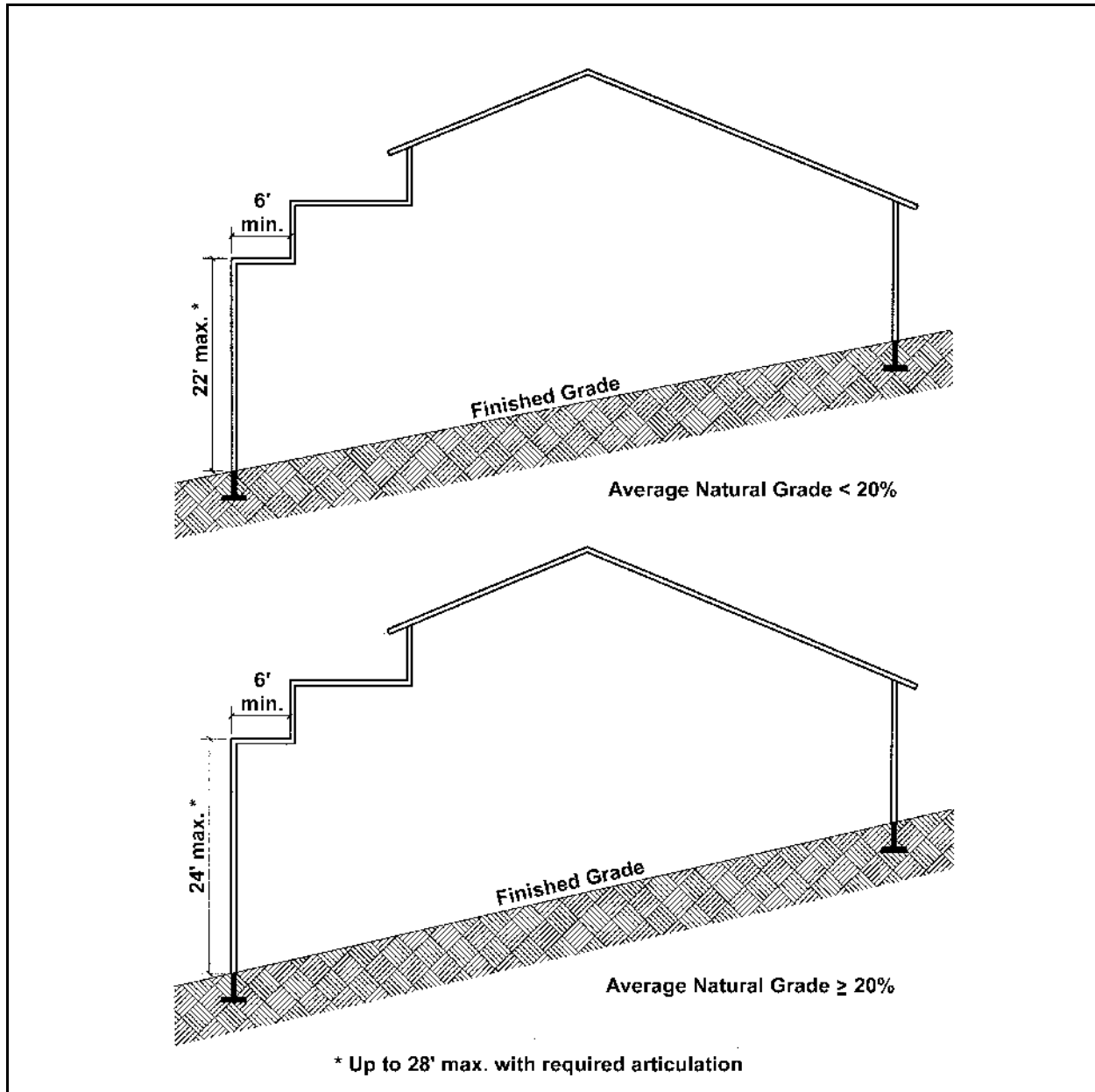


Figure 7-29: Front and Rear Building Face Height and Setback--Residential Single Family Outside Community Small-Scale Design Neighborhoods

- b. The maximum height of the building face is 28 feet as measured from finished grade
- c. The Review Authority determines that the apparent mass of the building is reduced through use of significant articulation--including three-dimensional components--that meets the intent of the communitywide *Residential Design Guidelines Outside of Community Small-Scale Design Neighborhoods: Wall Articulation and Relief* (following Section VG of the Communitywide standards).

This standard does not affect how building height is measured pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance.

- 2. **Lot Coverage.** The maximum building footprint of all structures, including garages and carports, shall be 50 percent of the total area of the site (see Figure 7-30). All covered decks, and the portions of uncovered decks and balconies that extend into any required setback, shall be included in the building footprint.

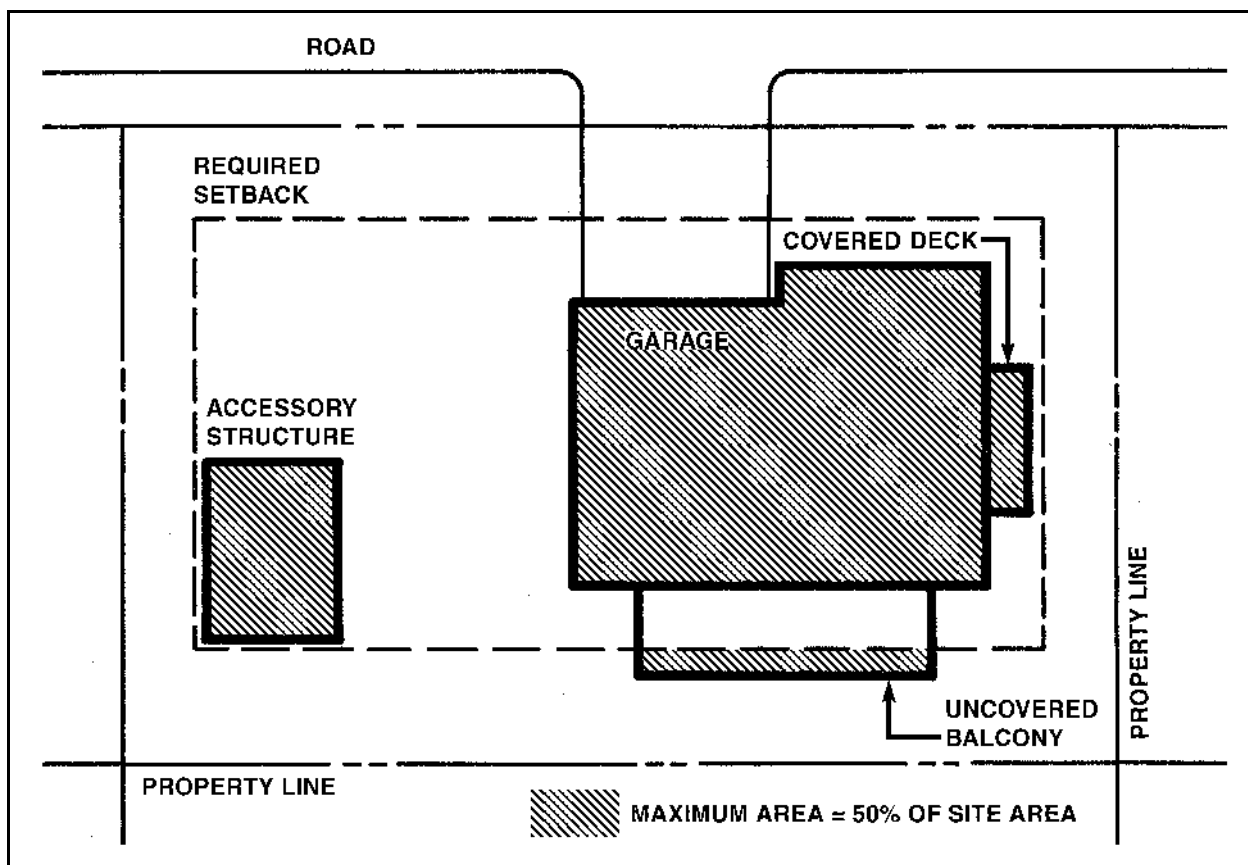


Figure 7-30: Lot Coverage--Residential Single Family Outside Community Small-Scale Design Neighborhoods

D. Community Small Scale Design Neighborhoods

- 1. 2- Location of Community Small Scale Design Neighborhoods.** Two neighborhoods are subject to the following standards (2 3, 3 4 and 4 6); and guidelines (5).

Pacific Avenue Neighborhood - That area designated Residential Single Family between Ocean Avenue, 13th Street, Cass Avenue, Circle Drive, Highway One, Old Creek, and the ocean.

Studio Drive Neighborhood - That area designated Residential Single Family between Highway One and the ocean.

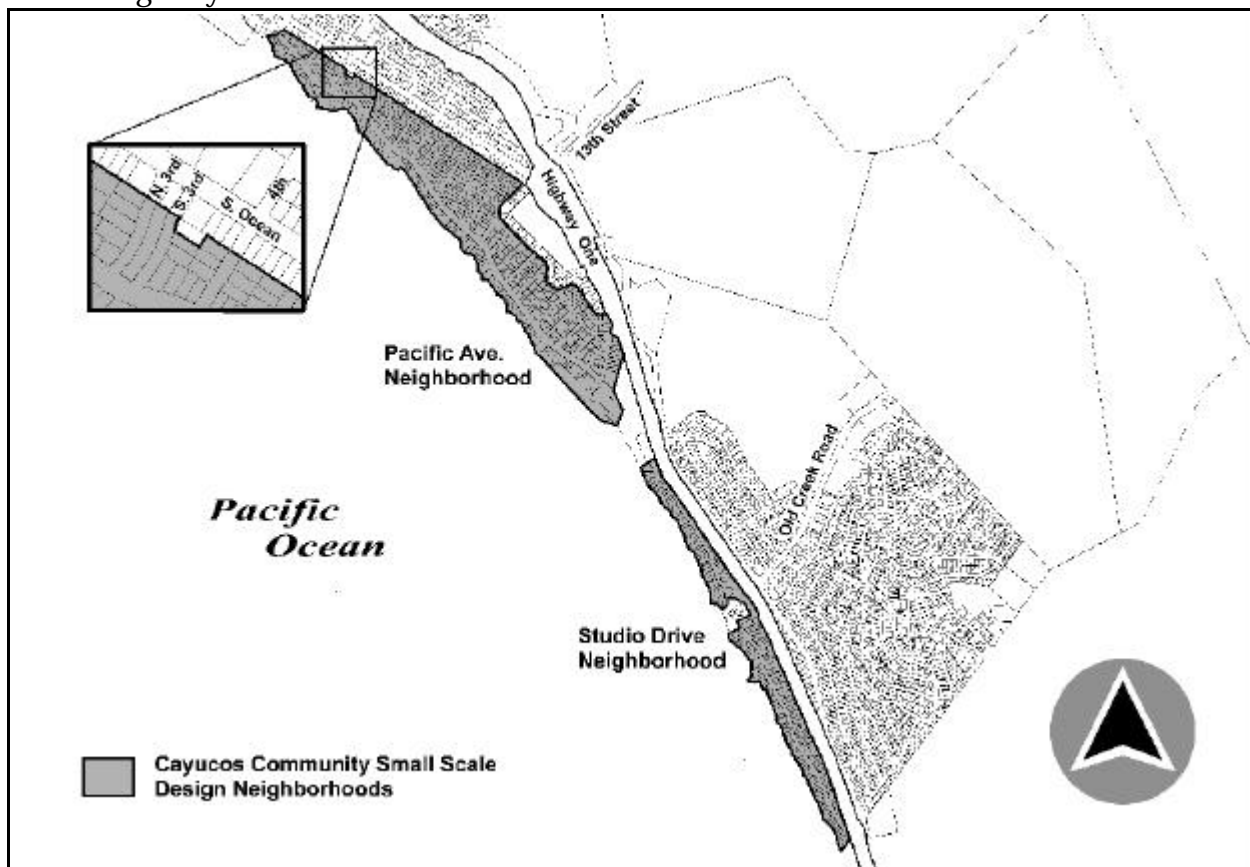


Figure 7-31: Community Small Scale Design Neighborhoods

2. 3- Permit Requirements and Findings.

a. Plot Plan Permit:

- (1) Development with proposed structures that are one-story and do not exceed 15 feet in height, where all the development is located at least 100 feet from any wetland, estuary or stream, and at least 300 feet from the ocean bluff-top.

- (2) Development with proposed structures between 15 feet and 24 feet in height, where all the development is located at least 100 feet from any wetland, estuary or stream, and at least 300 feet from the ocean bluff-top may be approved subject to a maximum gross structural area (including the floor area of all garages) of 45% of usable site area, provided it complies with standards ~~3.4~~a, b, c, e, f(1), and g; and with guideline 5b and finding c.(2), listed below:

b. Minor Use Permit:

- (1) Development that is within 100 feet of any wetland, estuary or stream, or within 300 feet of the edge of the ocean bluff-top. In addition such development is subject to standards, guidelines and findings listed below.
- (2) Development with proposed structures between 15 feet and 24 feet in height except as provided in ~~2.3~~a.(2) above. In addition such development is subject to standards, guidelines and findings listed below.

c. Required Findings:

- (1) The proposed project meets the community small scale design neighborhood standards and is therefore consistent with the character and intent of the Cayucos community small scale design neighborhood.
- (2) For any proposed structure that exceeds 15 feet in height, public view of the ocean from Highway One or the respective neighborhood is not being further limited.

~~3. 4.~~ Standards.

- a. **Front Setbacks.** The ground level floor shall have setbacks as provided in Cayucos Communitywide Standard ~~G. 2~~ and at no point shall a lower story wall exceed 12 feet in height including its above ground foundation. The second floor of proposed two-story construction shall have an additional front setback of at least three feet from the front of the lower wall, except open rail, uncovered decks are excluded from this additional setback and may extend to the lower front wall (see Figure 7-32).
- b. **Side Setbacks.** Single story dwellings shall have setbacks as provided in Cayucos Communitywide Standard ~~G. 2~~. Proposed two-story construction (including decks) shall have a lower floor setback on each side of not less than four feet, nor less than the required corner side setback if applicable. An upper story wall setback on each side yard of a minimum of two-and-one-half (2 ½) feet greater

than the lower story wall shall also be required. At no point shall a lower story wall exceed 12 feet in height including its above ground foundation. Thirty percent of the upper story side wall may align with the lower floor wall provided it is within the rear two-thirds of the structure (see Figure 7-32).

- c. **Building Height Limitations.** Heights shall be measured from the center line of the fronting street (narrowest side for corner lots) at a point midway between the two side property lines projected to the street center line, to the highest point of the roof. In the community small scale design neighborhood area defined in Standard 1 2, upslope lots shall use average natural grade. All proposed development including remodeling and building replacement is subject to the following limitations:

- (1) **Ocean Front Lots.** 15 feet maximum.

- (2) **Remainder of Community Small Scale Design Neighborhood lots.** Proposed structures, exclusive of chimneys and mechanical vents, are not to exceed 24 feet in height measured as provided above. Sloped (pitched) roofs are encouraged in all structures; however roof heights up to 18 feet shall not be required to have sloped roofs, roof heights exceeding 18 feet but not exceeding 22 feet shall have a roof pitch of at least 4:12 (4 inches of rise per 12 inches of run) and roof heights exceeding 22 feet but not exceeding the maximum height allowed (24 feet) shall have a roof pitch of at least 5:12 (5 inches of rise per 12 inches of run). Mansard or other flat style roofs on buildings over 18 feet are not permitted. Existing residences completed prior to April 25, 1995, with a roof pitch of at least 3:12 (3 inches of rise per 12 inches of run) may have second story roof slopes matching the existing slope where the building height does not exceed 22 feet.

- d. **Gross structural area (GSA).**

- (1) One-story development, and all development on bluff top sites, is limited to a maximum gross structural area, including the area of all garages, of 3,500 square feet.

- (2) Other new development or additions, exceeding one story or 15 feet in height, shall not exceed GSA's as provided in Table 7-3. ~~8-1 below:~~
~~(2)~~ In addition, the second story square footage shall be no greater than 60 percent of the first floor square footage.

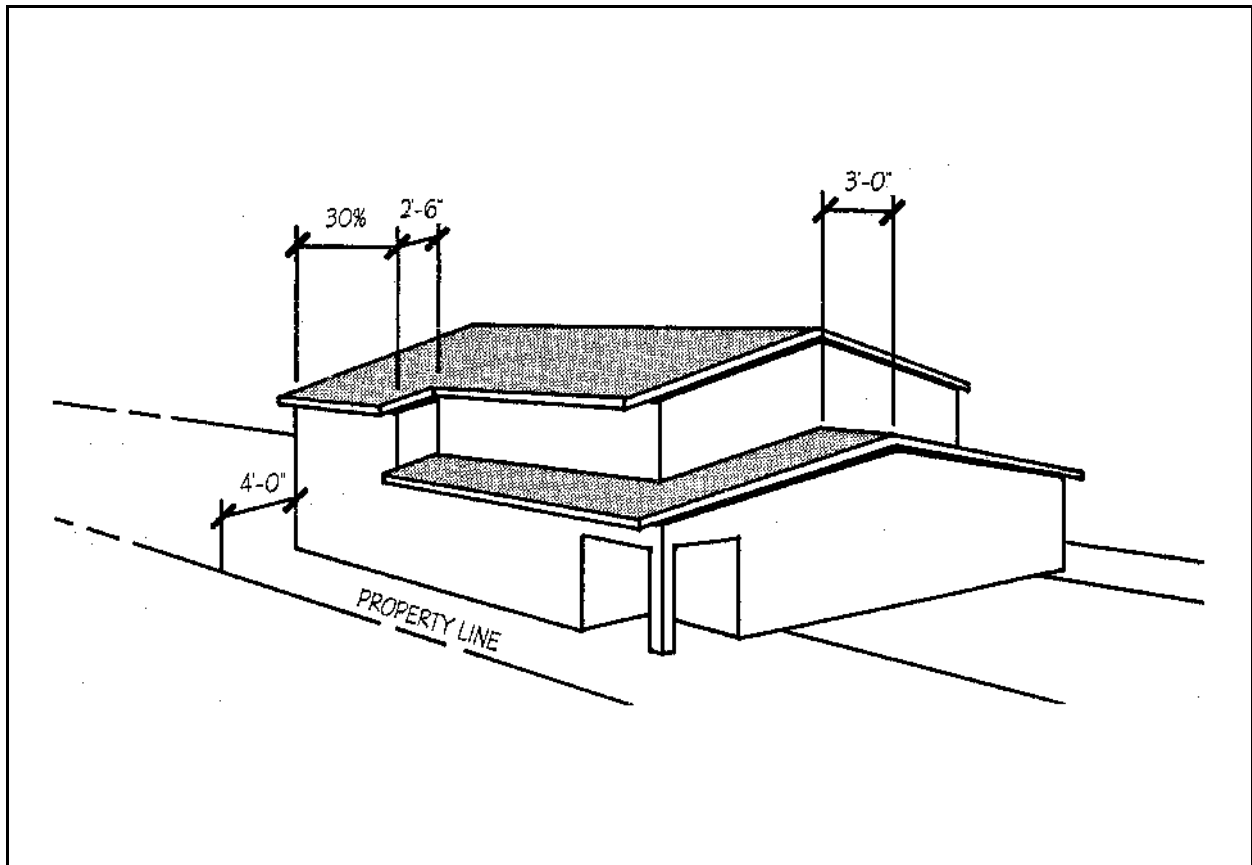


Figure 7-32: Setbacks for Two-Story Structures

**(1) Table 7-38-1, Maximum Gross Structural Area,
Non-Bluff-Top Sites Greater Than One Story or 15'**

Lot Size	Maximum Gross Structural Area Shall Be: Percent of Usable Lot
Up to 2899	60% of usable lot, not to exceed 1595 square feet
2900 - 4999	55% of usable lot, not to exceed 2500 square feet
5000 +	50% of usable lot, not to exceed 3500 square feet

- e. **Deck rail height.** Rail heights for decks above the ground floor shall not exceed 36 inches. A maximum additional height of 36 inches of untinted, transparent material with minimal support members is allowable except as restricted in **43a** above.
- f. **Parking.** New development parking spaces shall comply with the CZLUO for required parking spaces except as follows (see Figure 7-33):
 - (1) At least one off-street parking space shall be enclosed with an interior space a minimum size of 10 feet by 20 feet.
 - (2) A maximum of one required off-street parking space may be located in the driveway within the required front yard setback area. However, the minimum front yard setback from the property line to the garage is 20 feet if this design is used.
 - (3) Additions to an existing structure on a site that does not conform with the parking standards of this subsection may be approved through a Minor Use Permit if all of the following criteria are met, notwithstanding the provisions of Chapter 23.09 of the Coastal Zone Land Use Ordinance regarding nonconforming parking:
 - i. the site shall not be a bluff-top lot, and
 - ii. the addition shall be one-story only and shall not increase the gross structural area of the existing structure by more than 25 percent, provided that the maximum GSA as required in Table 7-3 shall not be exceeded, and

- iii the addition shall not include any bedrooms, and
 - iv. at least one off-street parking space shall be provided that is enclosed with an interior space that has a minimum size of 10 feet by 20 feet
 - v. one off-street parking space may be located within the required front setback, as long as the space does not encroach into the street.
- g. **Driveway Widths.** Driveway widths for proposed development may not exceed 18 feet.
- h. **Streetscape Plan.** A scale drawing showing the front exterior elevation (view) of the proposed project, and the front elevations of the adjacent buildings, is required as part of the application submittal.
- i. **Topographic Map.** A topographic map including the elevation of the fronting street, site contours, and existing and proposed drainage patterns is required as part of the application submittal.

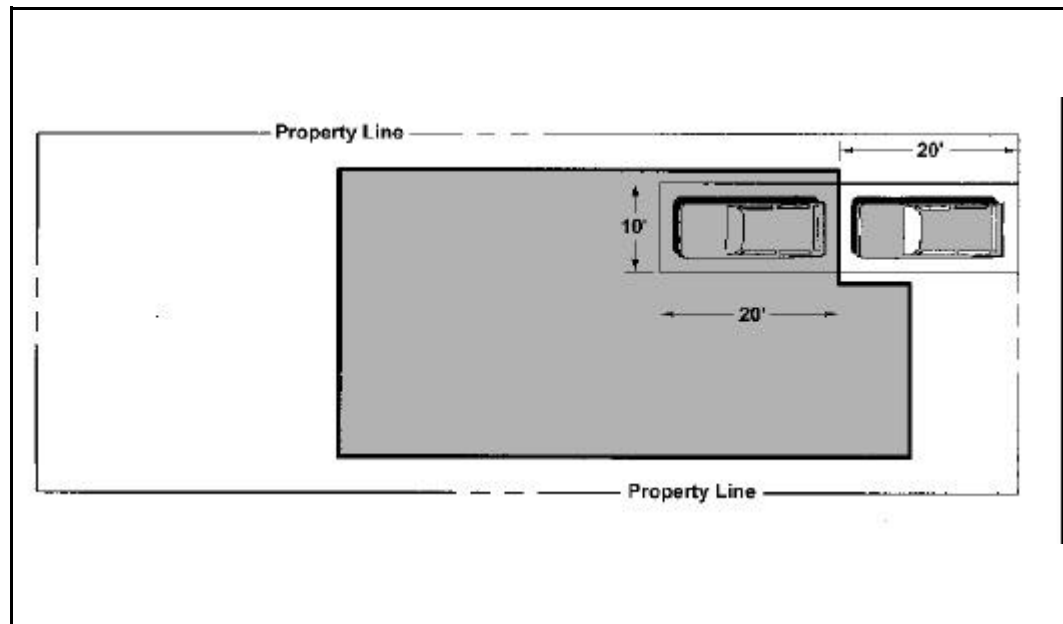


Figure 7-33: Parking Space Shown in Front Yard Area with Minimum 20' Setback to Building

- 4. 6- Destroyed structures.** Where a dwelling has been destroyed pursuant to Section 23.09.033a, it may be restored in substantial conformance with the destroyed dwelling within the existing footprint if the proposed dwelling is in conformance with applicable

bluff setbacks and fire safe standards. A single story dwelling may not be replaced with a multi-story structure under this provision.

5- Guidelines. *The following are guidelines that should be considered when designing any proposed project within the subject areas. A project subject to a Minor Use Permit approval will consider how the design complies with the following objectives:*

- d. Site Layout.** *Locate the structure so that it minimizes its impact on adjacent residential structures (such as significantly reducing access to light and air).*
- b. Building Design.** *The design should incorporate architectural details and varied materials to reduce the apparent mass of structures. Such scale reducing design devices include porches, covered entries, dormer windows, oriel and bay windows, multi-pane windows, varying roof profiles, moldings, masonry, stone, brickwork, and wood siding materials. Expansive building facades should be broken up by varied rooflines, offsets, and building elements in order to avoid a box-like appearance. Variations in wall planes, roof lines, detailing, materials and siding should be utilized to create interest and promote a small scale appearance. Roof styles and roof lines for first and second stories should match (see Figure 7-34).*
- c. Landscaping and Fencing.** *The site design should incorporate landscaping materials that help reduce the scale of the proposed structure. This can be done by proper selection and placement of trees, shrubs and other vegetation capable of screening portions of the structure from public viewpoints. The design should consider the use of decorative paving materials, such as aggregate concrete, stamped and/or colored concrete.*

The site design should consider effective use of small scale fencing materials in the front yard area to help soften the massing of the building. ~~Fences which present a solid barrier should be avoided except where privacy is desired.~~

~~7. **Setbacks Studio Drive at Willow Creek.** Residential development on the eastern portion of Assessor Parcel Number 64-275-24 (Tract 1078)(Schmitz) shall be setback and buffered from Willow Creek a minimum of 50 feet and shall not allow development within the 100 year flood plain. Any development shall be clustered so as to minimize habitat and scenic/visual quality impacts. SETBACK STANDARD MOVED TO TABLE 7-2~~

E.-8. Height - Studio Drive at Willow Creek, Tract 1078. *Maximum building height in Tract 1078 (see Figure 7-35) as measured from the centerline of the fronting street is New development shall not exceed 14 feet above the centerline of the fronting street for the northern half of Willow Creek, the property and new development shall not exceed 16 feet above the centerline of the fronting street for the southern half of Willow Creek the property.*

CAYUCOS URBAN AREA: RESIDENTIAL SINGLE FAMILY CATEGORY

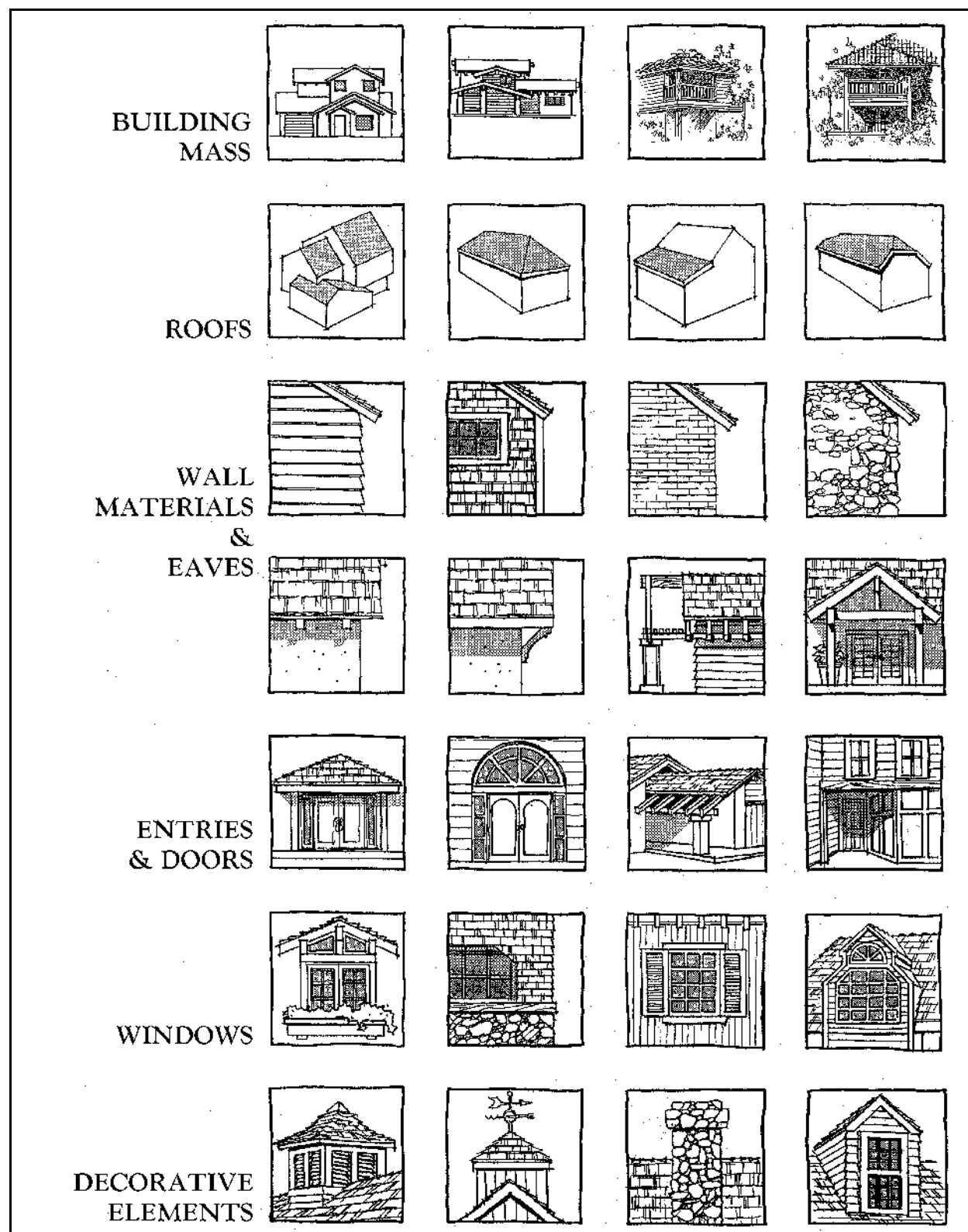


Figure 7-34: Residential Development Design Concepts

CAYUCOS URBAN AREA: RESIDENTIAL SINGLE FAMILY CATEGORY



Figure 7-35: Tract 1078

VI. C. ~~SOUTH BAY~~ LOS OSOS URBAN AREA STANDARDS

The following standards apply within the **Los Osos** ~~South Bay~~ Urban Reserve Line to the land use categories or specific areas listed.

COMMUNITYWIDE: The following standards apply to all land uses within the **Los Osos** ~~South Bay~~ Urban Reserve Line.

A. 1. ~~On-Site Wastewater Disposal~~ ~~Septic Tank Requirements.~~ New development using on-site wastewater disposal systems shall protect coastal water quality and meet the ~~septic tank~~ requirements of the Regional Water Quality Control Board. ~~Current WQCB standards specify that depth to bedrock or other impervious material should be greater than eight feet and depth to groundwater should be greater than 10 feet at all times. Separation between the bottom of the disposal field and the groundwater level shall be a minimum of five feet. In those areas of the community with known high water levels, a piezometer reading should be completed indicating that an adequate separation between the bottom of the disposal field excavation and the groundwater will be maintained at all times.~~

B. Resource Capacity and Service Availability

- 1. Water Capacity, Land Divisions.** New land divisions, other than condominium conversions, shall not be approved unless the review authority makes a finding that the following development can be accommodated by the sustainable yield of the Los Osos groundwater basin without seawater intrusion: development resulting from the proposed land division, existing development (at current rates of water use and occupancy), and development of all vacant parcels within the Los Osos urban services line at buildout under this plan. This finding shall be based on the best available scientific information.
- 2. Sewer Capacity, Land Divisions Within the Sewer Service Area.** New land divisions, other than condominium conversions, within the service area of the community sewer provider, shall not be approved unless the review authority makes a finding that a community sewer system is in operation and has sufficient capacity to serve the following: development resulting from the proposed land division, existing development (at current rates of water use and occupancy), and development of all vacant parcels within the Los Osos urban services line at buildout under this plan.

- 3. Land Divisions and Land Use Permits: Application Content: Community Water and Sewer.** Applications for land divisions and land use permits for new development that require community water or sewer services shall be accompanied by letters from the applicable water purveyor and provider of community sewer service stating their intent to serve the proposed project with water and community sewer services, as applicable.
- 4. Building Permits: Clearance for Services.** All applications for building permit approval are to be accompanied by a letter or other verification from the applicable fire protection agency, water purveyor and provider of community sewer service indicating that the proposed project has received fire clearance and water service and sewer connection approvals.
- 5. General Plan Amendments.** Future proposed general plan amendments shall be evaluated with regard to their effects on water supply and demand. Only amendments that maintain or decrease net water use may be approved.
- 6. Other policies and standards.** Policies, standards and programs concerning resource capacities, adequacy of services and priority of uses shall be addressed by the Resource Management System, and the public works policies in the Coastal Plan Policies document (especially Policies 1, 6 and 8) and their implementing provisions in the Coastal Zone Land Use Ordinance.
- ~~2. **Interim Service Capacity Allocation.** Prior to completion of a Resource Capacity Study, the following priorities for water use shall be established, which shall be implemented through the review and approval of subdivision and development plan proposals.~~
 - ~~a. Reservation of 800 acre-feet per year (consumptive use) for agricultural use to protect existing and projected agricultural water needs in accordance with the Brown and Caldwell study (1974).~~
 - ~~b. Projected infill of residential, commercial, and visitor-serving uses on existing subdivided lots.~~
 - ~~c. Extend services to areas where services will correct existing or potential problems (e.g., areas with high nitrate readings) where individual wells are now in use.~~
 - ~~d. Additional land division will be permitted within substantially subdivided areas in accordance with lot sizes permitted in the Land Use Element and Coastal Zone Land Use Ordinance. Findings must be made that resources are adequate to serve the previously identified higher priorities uses in addition to proposed lots.~~
 - ~~e. Additional divisions would be permitted within the urban service line boundary only where adequate additional capacity is identified and it can be demonstrated~~

~~that the proposed development would not jeopardize the availability of resources available to higher priority proposed uses.~~

- ~~f. Land divisions in the areas outside the urban services line and not specifically covered elsewhere in the South Bay standards, shall not be less than two and one-half acres.~~

C. Drainage

- 1. ~~3.~~ Los Osos South Bay Lowland Areas--Drainage Plan Requirement.** ~~In Standard 3 applies only to areas designated in Figure 7-37, 8-3;~~ all land use permit applications for new structures or additions to the ground floor of existing structures shall require drainage plan approval pursuant to **Chapter 5 of the Coastal Zone Land Use Ordinance Sections 23.05.040 et seq.** ~~if the project is located within the area shown on Figure 8-3, unless the County Engineer determines that the individual project site is not subject to or will not create drainage problems.~~ **Development shall not cause adverse impacts to downstream properties, wetlands or the Morro Bay estuary from runoff, sedimentation, or pollution.**

D. Habitat Conservation and Tree Protection.

- 1. Habitat Conservation Standards.** These provisions are intended to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat (much of which is an Environmentally Sensitive Habitat), recognizing that habitat in the “Los Osos Dune Sands SRA-TH” area is of relative high quality compared to that on smaller, isolated, undeveloped lots in the mostly developed, “central urbanized area” of Los Osos (see Figure 7-47).
- a. **Habitat Conservation Plan (HCP).** All new development within the Los Osos urban reserve line that requires a land use permit or coastal development permit and that results in site disturbance shall either 1) participate in an approved Los Osos Habitat Conservation Plan that may include payment of an in-lieu fee, or 2) otherwise comply with Federal Endangered Species Act and comply with all applicable Local Coastal Program standards for Environmentally Sensitive Habitats.

b. Landscape Requirements. All new development within the Los Osos urban reserve line that requires a land use permit or coastal development permit and that results in a site disturbance of 500 square feet or more shall comply with the following when landscaping. When a landscaping plan is required by the Coastal Zone Land Use Ordinance, the following requirements shall be incorporated into the plan.

- (1) An area that is landscaped with native vegetation shall be provided. In the “central urbanized area,” as shown in Figure 7-47, this shall comprise at least 30% of the landscaped area.
- (2) Non-sandy soils or soil amendments that would be detrimental to coastal scrub vegetation shall not be used.
- (3) Native plants (Los Osos species) shall be used, though not exclusively.
- (4) Non-native plants that change the soil in a manner detrimental to the Morro shoulderband snail (e.g. eucalyptus) are prohibited. Invasive plants (e.g. certain grasses) shall be avoided.
- (5) The use of molluscicides is prohibited.

2. 1. Tree Stands Permit Requirement. ~~Development Plan approval is required for proposed uses on the south side of Los Osos Valley Road~~ shall be designed to protect and maintain stands of native ~~the oak~~ trees or trees that provide valuable habitat to the maximum extent feasible, while allowing reasonable use of the property.

MOVED FROM OFFICE AND PROFESSIONAL CATEGORY STANDARDS

3. Monterey Pine Retention and Replacement. Land divisions, Minor Use Permits and Development Plans shall: a) be designed to retain healthy Monterey pines where feasible, except where removal is appropriate for habitat restoration or enhancement; b) provide for replacement of diseased or old Monterey pines with other suitable species approved by the county that are drought tolerant, appropriate to the climate, resistant to disease, and compatible with the character of the area.



Figure 7-37: South Bay Location Map

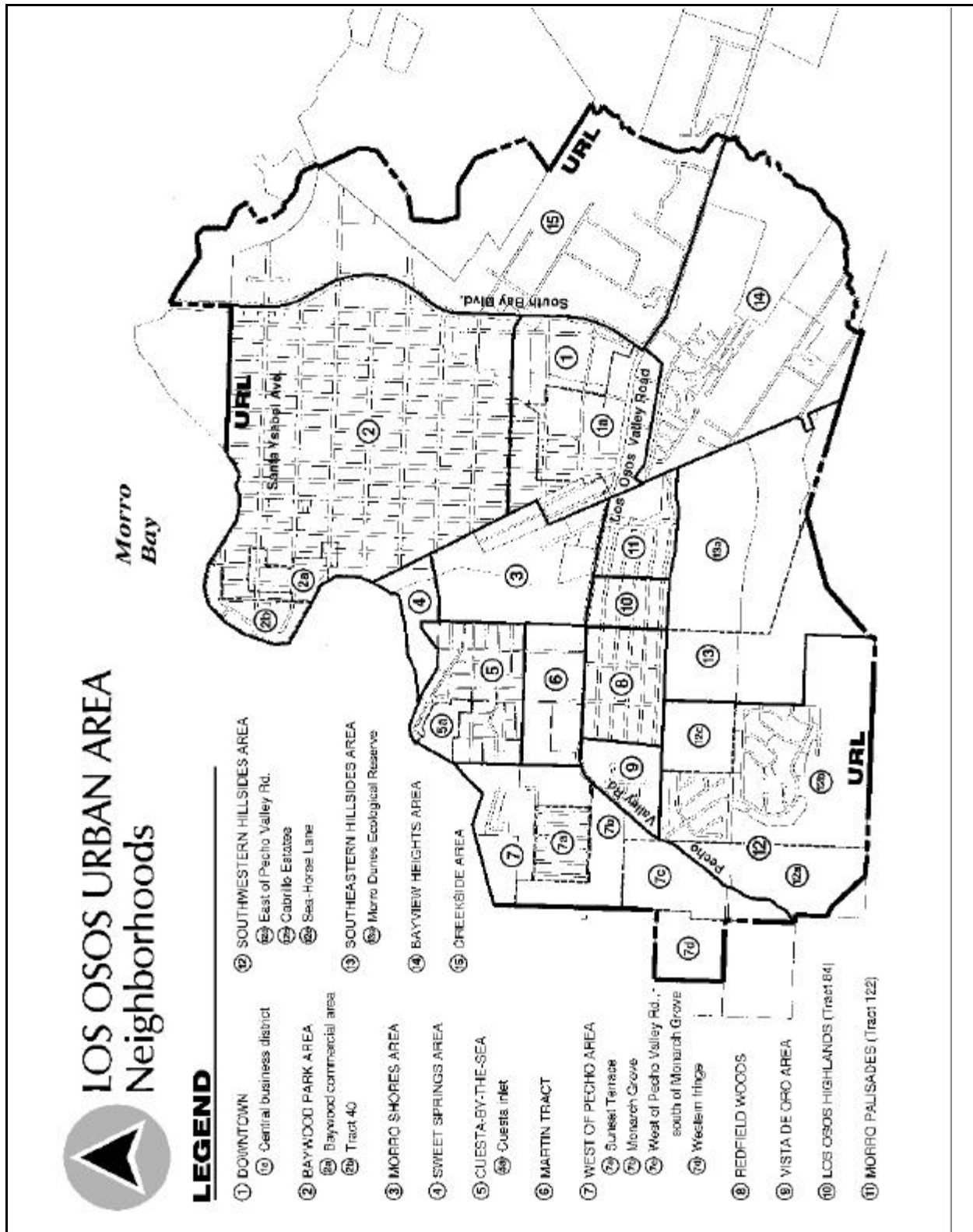


Figure 7-36: Los Osos Location Map

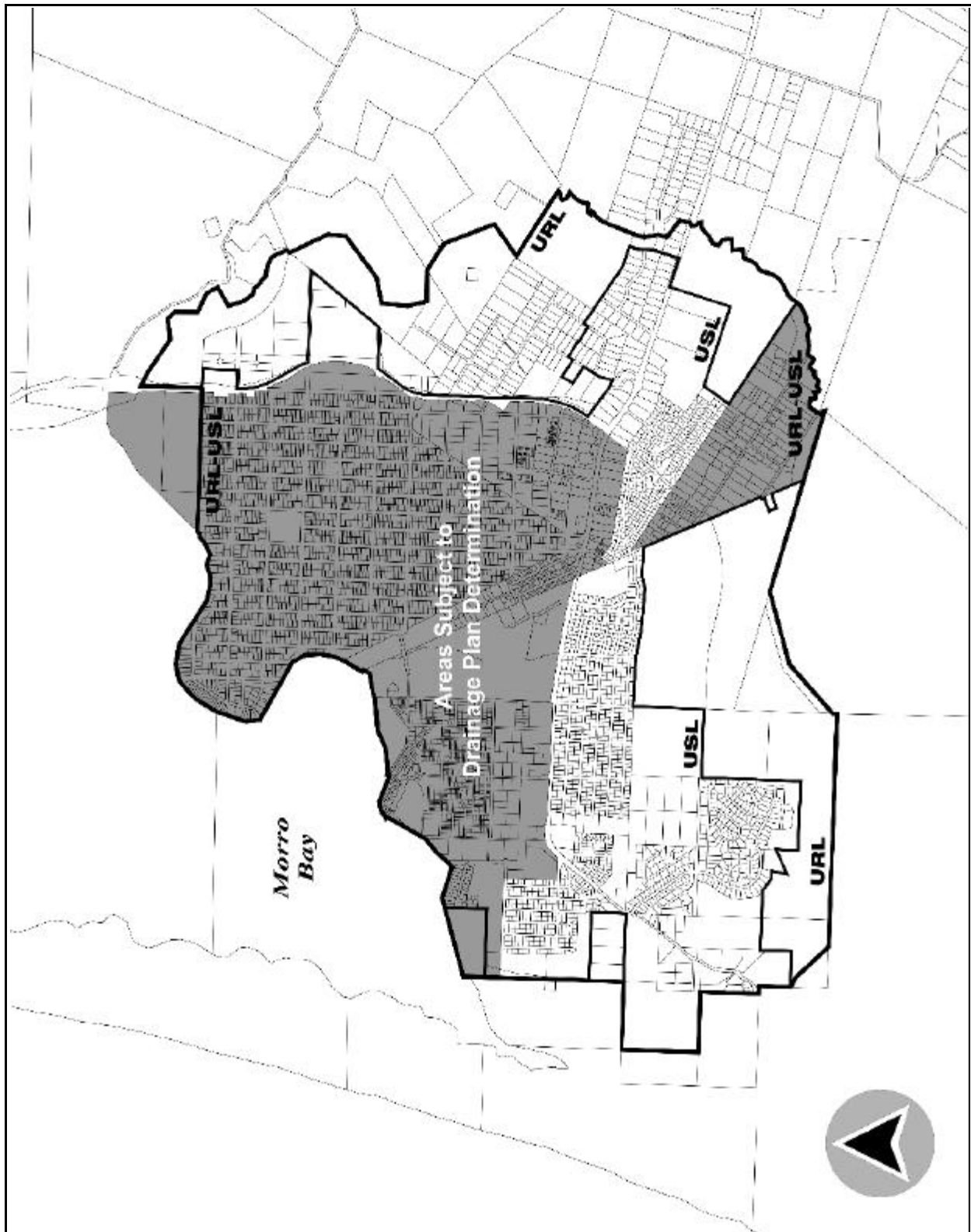


Figure 7-37: Los Osos Lowland Areas--Drainage Plan Required

E. Streets and Circulation

~~4. **Third Street.** Road alignment and siting shall incorporate mitigation measures to protect the adjacent wetland and preservation of the cathedral stands. The site shall be surveyed by a qualified biologist to determine the necessary mitigation measures to protect the Sweet Springs area and surrounding wetlands. Drainage shall be designed to protect the marsh from road surface pollutants.~~

- 1. Waiver of Curb, Gutter and Sidewalk Improvement Requirements.** Installation of curbs, gutters and sidewalks in connection with new land uses or new land divisions on existing, local residential streets is not required; however, installation of alternative walkways is encouraged in place of standard concrete sidewalks. In all other areas, the requirements for curbs, gutters and sidewalks shall be as provided in the Coastal Zone Land Use Ordinance. This standard notwithstanding, curbs, gutters and sidewalks may be installed pursuant to an assessment district or similar mechanism for financing such improvements, and curbs and gutters may be required where needed for drainage purposes as determined by the County Public Works Department.
- 2. South Bay Blvd. Extension.** New development and land divisions shall preserve, and where needed, include offers to dedicate the right-of-way of the South Bay Boulevard extension (see Chapter 5, Circulation, and the Circulation map at the back of this plan) for habitat conservation and potential trail use only.
- 3. Street Trees.** Planting of street trees is required for all new land divisions and all construction of new dwellings and new non-residential development. Street trees shall meet the following requirements, unless a street tree master plan has been approved by the county, in which case the requirements of that plan shall instead apply (see Figure 7-38):
 - a. Size:** At least 15 gallon containers.
 - b. Number:** An average of one tree per 25 feet of frontage. If that number is not feasible due to the following location requirements, the number of trees shall be the maximum that is consistent with those requirements.
 - c. Location:** When maintenance is assured, within the street right-of-way and within a parkway strip where available; otherwise, outside of the street right-of-way and 10-15 feet behind the sidewalk or street (if no sidewalk). Trees may be grouped rather than equally spaced. Trees shall be planted at least 10 feet from driveways; 10 feet from street lights; 10 feet from fire hydrants; and in locations that maintain appropriate sight distances and that do not interfere with underground utilities.
 - d. Characteristics:** Drought tolerant, appropriate to the climate, resistant to disease, compatible with the character of the area, consistent with the scale of the roadway, and of a size that will not impair major public views to and along the coast.

- 4. Public Street and Access Connections.** Except as otherwise specified, these standards apply to applications for land divisions, and to applications for Minor Use Permits and Development Plans for development of more than one dwelling unit. These standards are intended to encourage more efficient circulation and emergency access; to encourage walking, bicycling and other modes of transportation; and to reduce vehicle trip lengths.
 - a. Public Access.** Except where infeasible, provide public vehicular, bicycle, pedestrian, and equestrian connections to surrounding areas where they: (1) provide efficient and convenient links to adjacent neighborhoods, nearby schools, nearby recreational areas, and other nearby activity centers; (2) are shown on the Circulation Element map; or (c) are needed for adequate emergency access.
 - b. Public Access--Morro Shores.** In the Morro Shores area as shown in Figure 7-36, development shall provide public vehicular, bicycle, pedestrian, and equestrian links to adjacent neighborhoods, commercial areas, schools, parks, the bay, and the community center.
 - c. Street Extensions.** Where feasible and where no adverse impacts to environmentally sensitive areas (see Section IIIA) will occur, extend existing streets in order to provide access to adjacent parcels and create an interconnected circulation system.
- F. Parking**
 - 1. Coastal Access and Recreation.** New development or other actions shall not result in a net loss of public parking that serves coastal access or recreation.
 - 2. Commercial Retail, Office and Professional.** In all Commercial Retail and Office and Professional land use categories in the Central Business District and the Baywood Commercial area (see Figure 7-36), the number of on-site parking spaces provided shall be no more than that required by Chapter 23.04 of the Coastal Land Use Ordinance. Community parking areas within a 1/4-mile radius and on-street parking within the same block may be used to satisfy parking requirements.
- G. Building Height.** Exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply to any planning area standards that specify maximum building height or building face height.

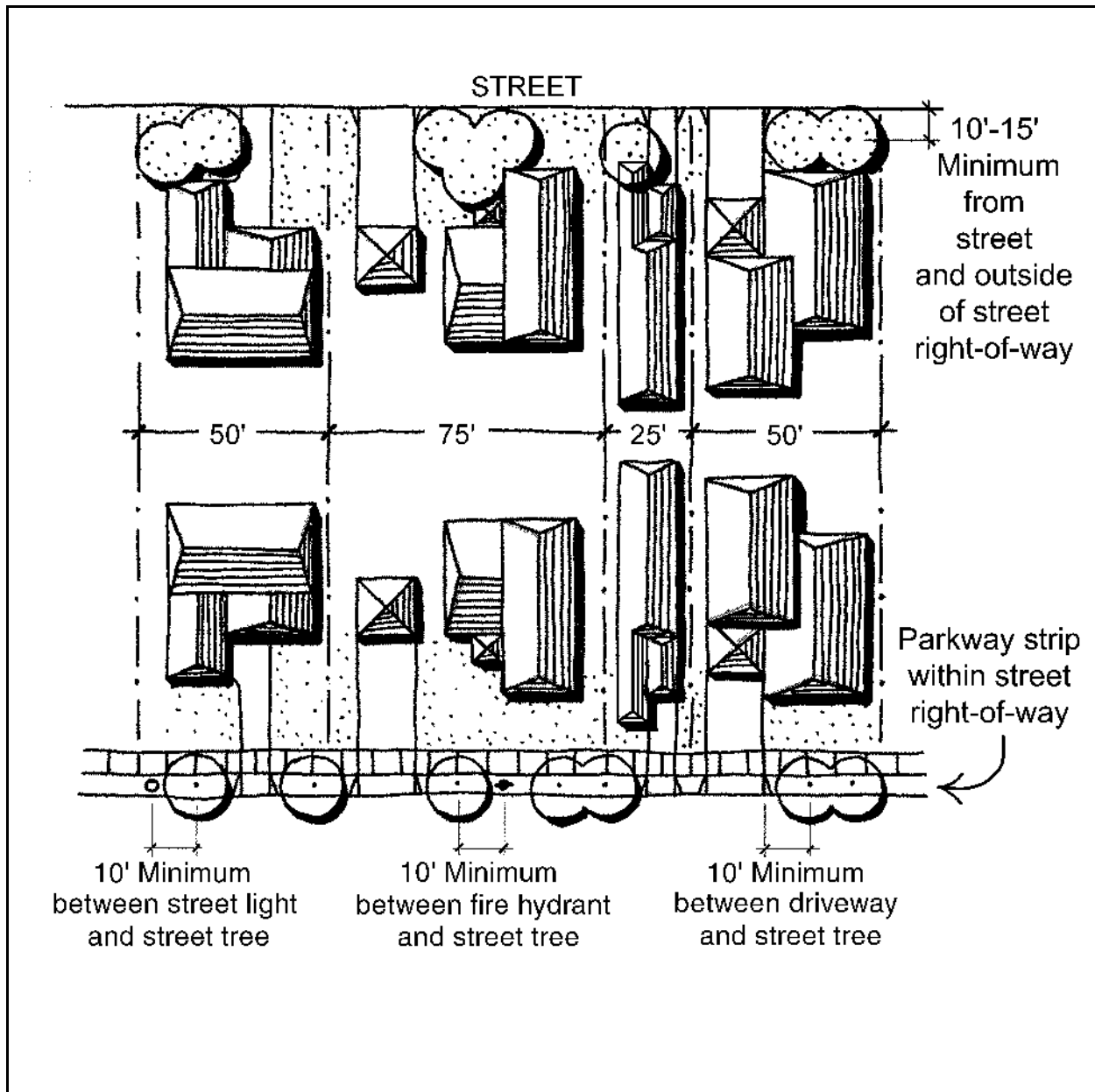


Figure 7-38: Street Tree Location

H. Bayfront Development

- 1. 5. Height.** Proposed structures are limited to the maximum heights shown on Figures 7-39 and 7-40 ~~8-4~~.
- 2. 6. Fences.** Fences shall not be constructed that would restrict public views of the bay from public roads or preclude lateral public access. **Fences on the bayfront side of development shall not interfere with the movement or migration of native wildlife.**
- 3. 7. Vegetation Protection.** On-site vegetation shall be preserved whenever possible. Grading shall be minimized and limited to the building pad and driveway, road and other required improvements.

~~**Morro Palisades.** Standard 8 applies only to the Morro Palisades area (see Figure 8-2).~~

~~**8. Planned Development.** The portion of the property north of Los Osos Valley Road shall be developed as a planned development to allow for a variety of housing types and densities, commercial, public facilities, office and professional uses to be located in the least sensitive portions of the site and the most sensitive portions retained as open space/recreation use as determined by the planned development review. The adopted Development Plan shall be revised to incorporate the provisions of the LUE.~~

- I. Residential Development Potential.** Where planning area standards establish special maximum residential densities or minimum parcel sizes/parcel densities for new land divisions, such requirements are shown in Figures 7-41 and 7-42. For all relevant requirements for particular areas, also refer to the referenced planning area standards.
- J. Affordable Housing.** New or replacement affordable housing units required by Section 23.04.092 of the Coastal Zone Land Use Ordinance shall, if feasible, be located on the same site as the other new, demolished or converted housing units, provided that all other requirements of the Coastal Zone Land Use Ordinance allow for such development. If such location is infeasible, the new or replacement affordable housing units shall be located within the Los Osos urban area.

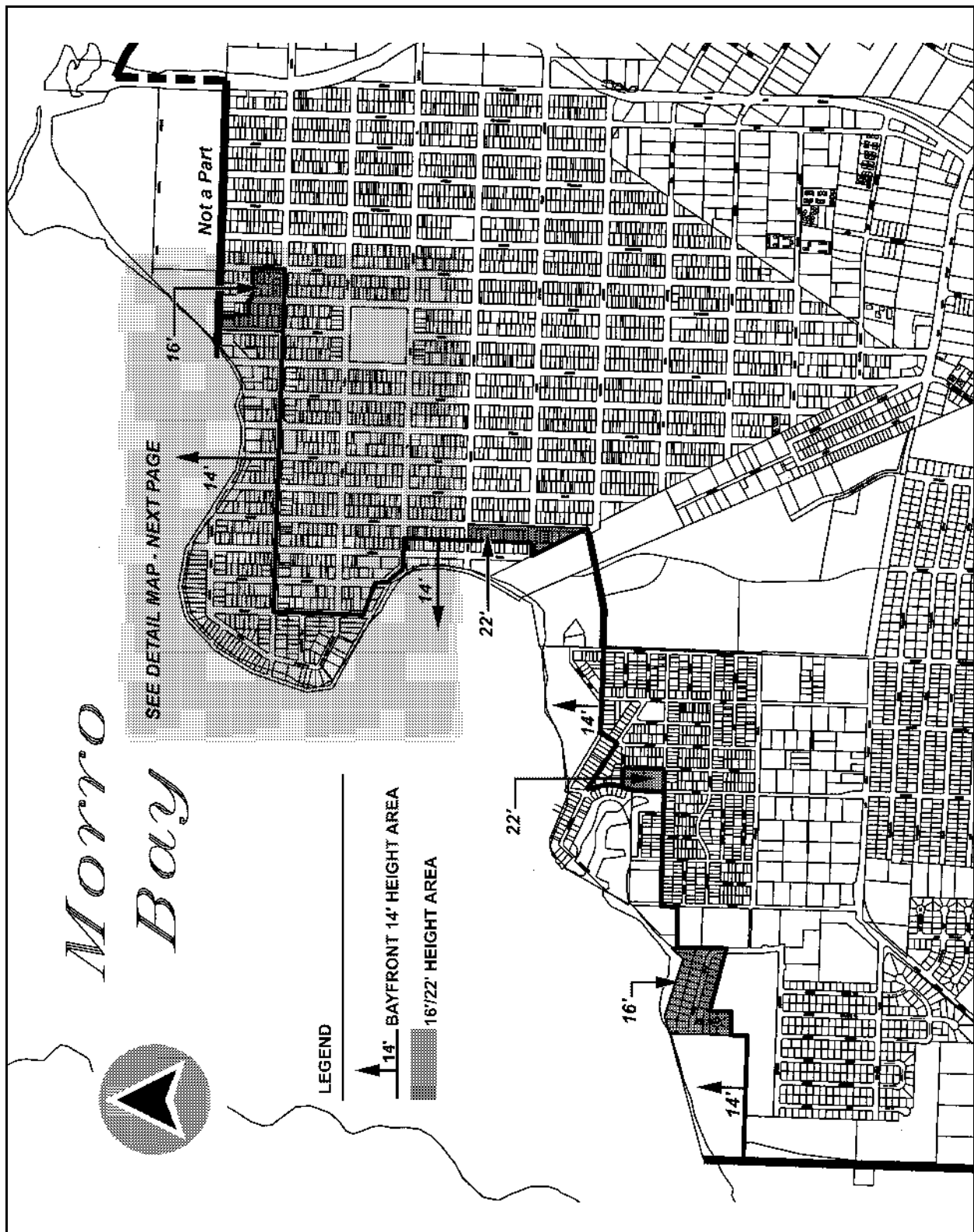


Figure 7-39: Los Osos Height Limits

ESTERO AREA PLAN UPDATE
NOVEMBER 2004

LOS OSOS URBAN AREA: COMMUNITYWIDE
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LEGEND **Figure 7 - 41**

Location No.	Development Potential¹	Planning Area Standard No.
1a	1 parcel/acre, refer to planning area standard	Recreation B2
1b	refer to planning area standard	Residential Single Family E2b
2	refer to planning area standard	Recreation C2
3	20,000 Sq. Ft.	Residential Single Family E1a
4	1 acre	Residential Single Family C1
4a	10,000 Sq. Ft.	Residential Single Family C1
5	1 acre	Residential Single Family L1
6	20,000 Sq. Ft.	Residential Single Family J2
7	20,000 Sq. Ft.	Residential Single Family G1
8	1 acre	Residential Single Family B1
9	1 parcel/3 acres	Residential Suburban A
10	1 parcel/2.5 acres	Residential Suburban A
11	1 parcel/5 acres	Residential Suburban A

1. Expressed as the minimum parcel size in acres or square feet, unless otherwise expressed as one parcel (a maximum of one residential parcel) per the specified number of acres.

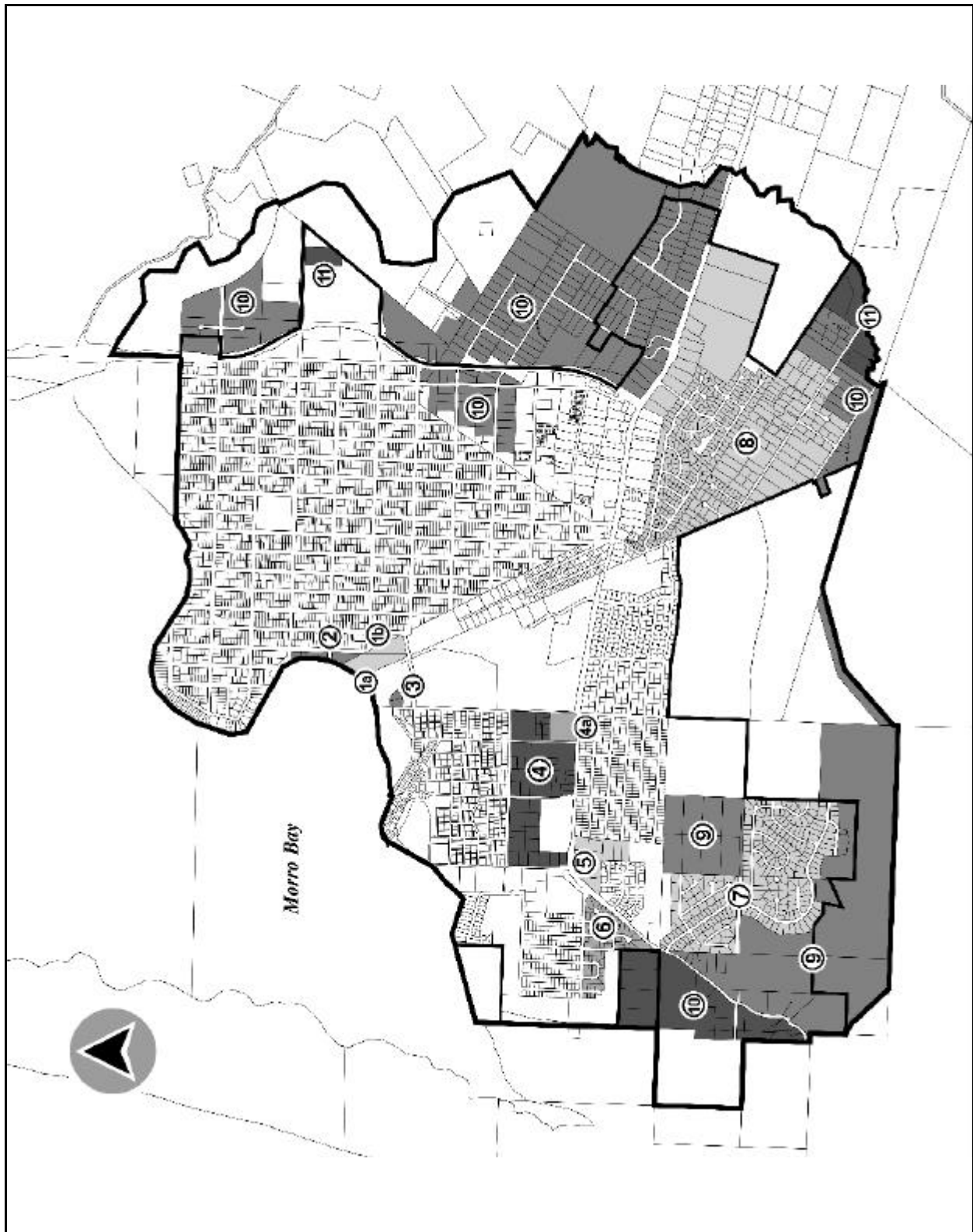


Figure 7-41: Residential Development Potential: New Land Divisions

LEGEND**Figure 7 - 42**

Location No.	Maximum Density - Units/Acre (unless otherwise specified¹)	Planning Area Standard No.
1	Overall Density: 15* Net Density: 38* (senior citizen or affordable housing)	Residential Single Family M3
2	15 (mixed use) 19 (mixed use - senior citizen housing)	Commercial Retail C2c Commercial Retail C2f
3	38 (senior citizen housing) 15 (sites less than 1 acre) 26 (sites greater than or equal to 1 acre) 10 (minimum density, parcels greater than or equal to 10,000 Sq. Ft.)	Residential Multi-Family C1 Residential Multi-Family A1 Residential Multi-Family A1 Residential Multi-Family A2
4	1 dwelling unit on entire site (site subject to deed restriction)	Residential Multi-Family D1
5A	15 (sites less than 1 acre) 26 (sites greater than or equal to 1 acre) 10 (minimum density, parcels greater than or equal to 10,000 Sq. Ft.)	Residential Multi-Family A1 Residential Multi-Family A1 Residential Multi-Family A2
5B	15 (sites less than 1 acre) 26 (sites greater than or equal to 1 acre)	Residential Multi-Family A1 Residential Multi-Family A1
6	refer to Morro Shores Mixed Use Area standards	Residential Multi-Family E1 - E8
7	15 (principal use) 15 (mixed use)	Commercial Retail D7a Commercial Retail D7a
8	15 (mixed use)	Commercial Retail D7b

1. *Development potential = net acreage of site multiplied by density.*

* *With participation in TDC program.*

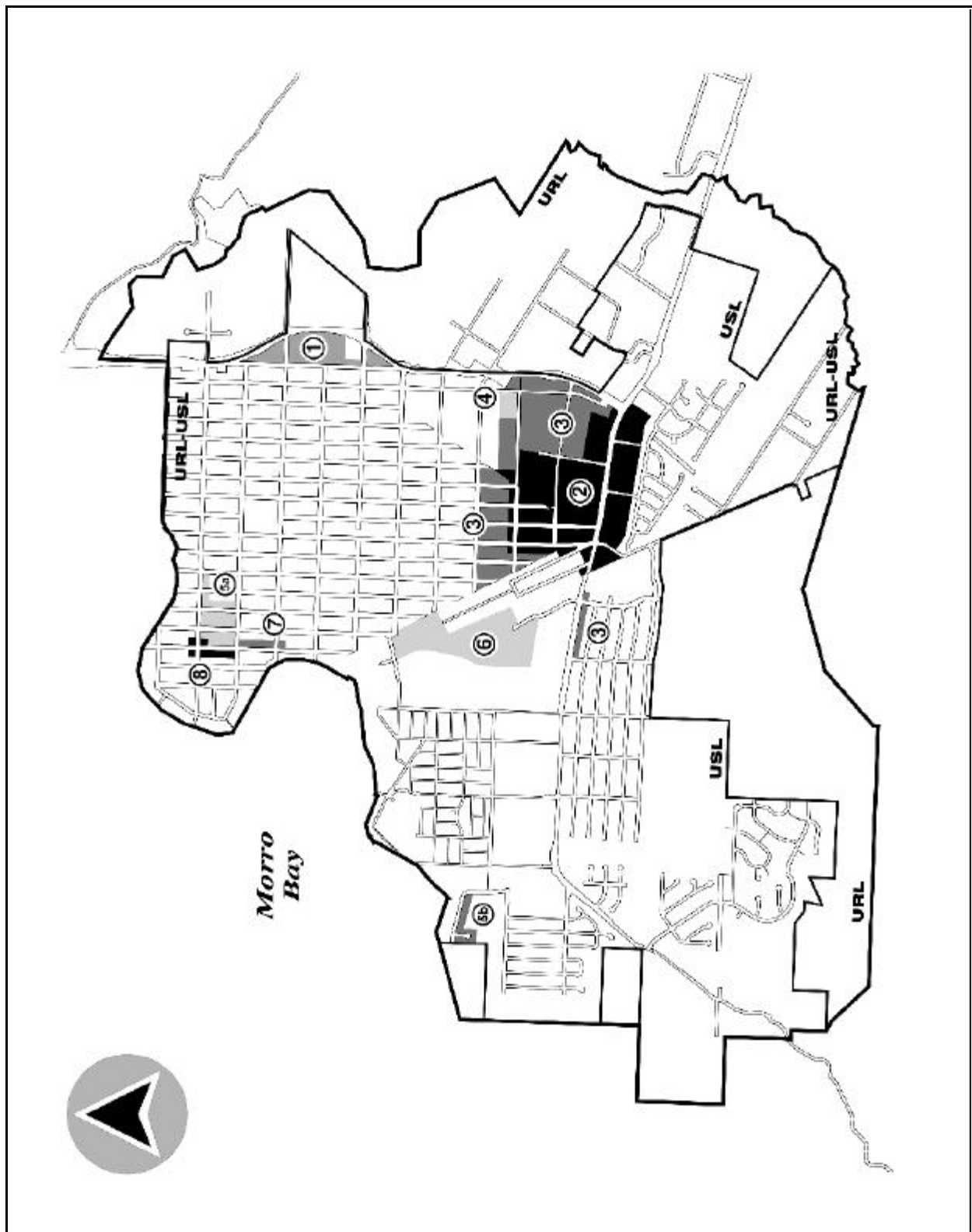


Figure 7-42: Residential Development Potential: Multi-family Densities

K. Creekside Cluster Development Option. The purpose of these standards is to protect and manage environmentally sensitive habitat and endangered species as described in Section IIIA of the Areawide Standards, consistent with the aim of a habitat conservation plan; to advance the goal of creating a greenbelt for Los Osos; and to facilitate acquisition of environmentally sensitive habitat by conservation organizations or others. These standards are intended to enable and offer a density bonus for the transfer of development potential from environmentally sensitive areas on the east side of South Bay Blvd. (“conservation area”) to adjacent areas that are more suitable for development (“development area”), as shown in Figure 7-43. The “conservation area” would be permanently protected as open space for habitat protection, restoration and management.

1. Optional Standards. As an alternative to the development standards in this plan and the Coastal Zone Land Use Ordinance that would otherwise apply, the following standards may be applied at the option of the applicant within the area shown in Figure 7-43.

a. Planned Development. All development shall be part of a Planned Development and comply with all applicable standards in the Coastal Zone Land Use Ordinance for such projects, except as otherwise provided in this section. The land division or development application shall include some or all of the properties within both the “conservation area” and the “development area” as shown in Figure 7-43.

b. Location of Development. All development shall be located within the “development area” as shown in Figure 7-43.

c. Development Potential.

(1) The maximum number of dwelling units to be transferred from the “conservation area” and developed in the “development area” (as shown in Figure 7-43) shall be determined based on the following densities: one dwelling unit per five acres of gross site area in the Residential Suburban land use category, one dwelling unit per five acres of gross site area in the Residential Rural land use category, and one unit per 6,000 square feet of gross site area in the Residential Single Family category, except that where the maximum density or minimum parcel size is set by planning area standard, the maximum number of dwelling units shall be determined by dividing the total site area by the minimum parcel size or maximum density specified in the planning area standard, or as otherwise specified in the planning area standard.

- (2) In no case shall the total number of dwelling units within the “development area” shown in Figure 7-43 exceed that determined by an overall density of 15 dwelling units per acre, including any density transferred through the Los Osos community-based TDC program described in Chapter 6 of this plan.
- (3) The maximum number of dwelling units provided by this section may be decreased by the Review Authority on the basis of specific site characteristics through the Development Plan approval, where it is determined that the site or vicinity cannot support such maximum number of units without significant adverse effects.

d. Design Standards.

- (1) **Open space parcel(s) required.** All land in the Planned Development within the “conservation area” shown in Figure 7-43 shall be permanently protected as open space in one or more open space parcels. Uses within the open space parcel(s) shall be limited to those that are compatible with habitat protection, restoration and management.
- (2) **Guarantee of open space.** The required open space parcel(s) are to be maintained and managed as open space and environmentally sensitive habitat in perpetuity, with guarantee provided by open space easement, or dedication of fee or partial fee title to a public or quasi-public agency.
- (3) **Ridgetop Development.** Locate structures so that they are not silhouetted against the sky as viewed from South Bay Blvd.
- (4) **Attached dwelling units.** In the Residential Single Family category, the Planned Development may include attached dwelling units with not more than two units per structure when approved by the Review Authority.
- (5) **Sewer and water capacity.** The proposed transfer of development potential shall not adversely affect the capacity of the community sewer system and shall not exceed the safe yield of the groundwater basin.

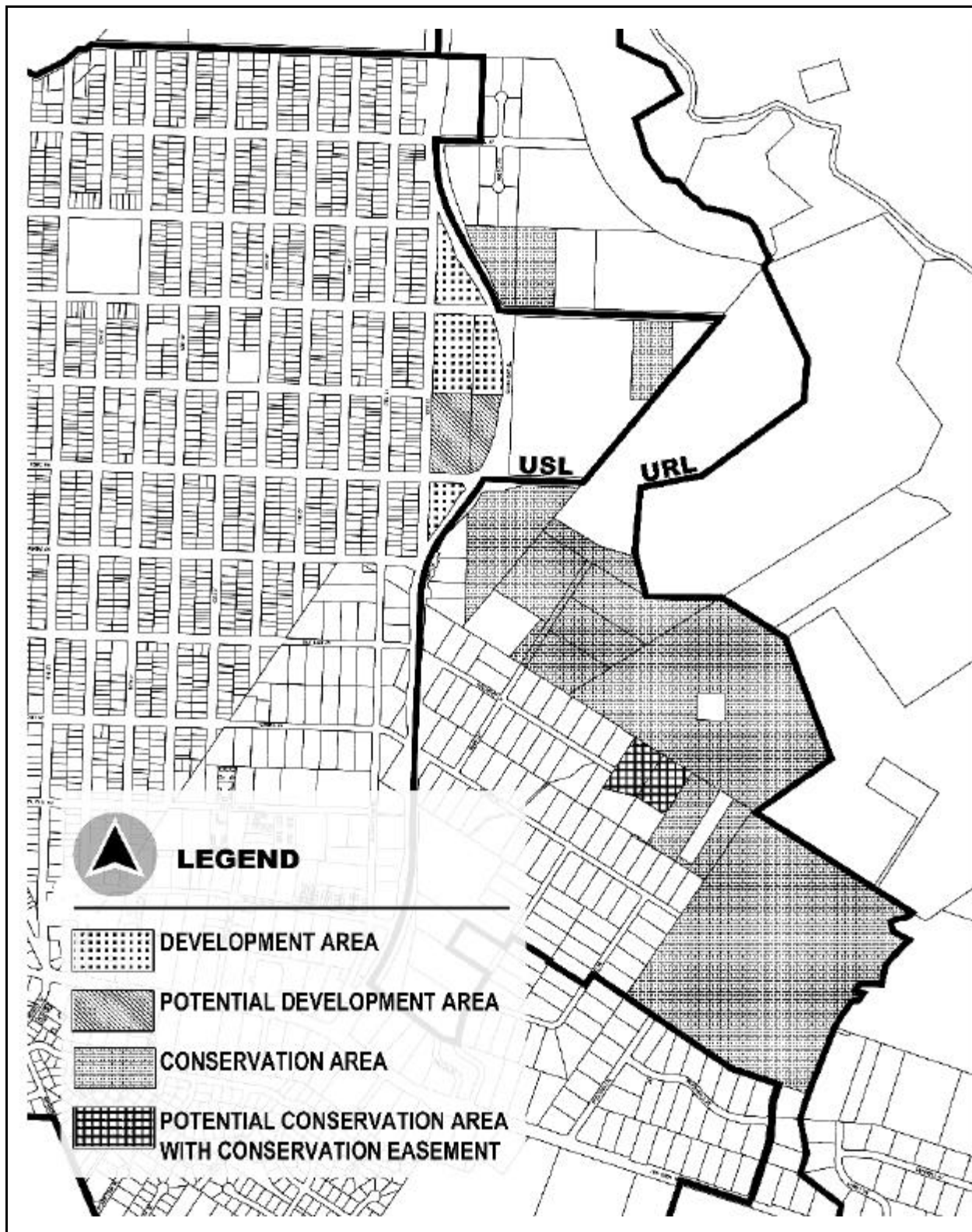


Figure 7-43: Creekside Cluster Development Concept

L. Residential Garage Size and Location

The following standards apply to land divisions, Minor Use Permits and Development Plans for new development that is located on lots less than one acre in area.

The intent of the following standards is for garages to not dominate the structure as viewed from the fronting street (see Figure 7-44). Garages shall be located as follows:

- 1.** On the rear portion of the site, or
- 2.** On the front portion of the lot as follows:
 - a.** The garage door shall not be directly visible from and face the fronting street (e.g., a side entrance garage), or
 - b.** Where the garage door is directly visible from and faces the fronting street, its width shall not exceed 50 percent of the total width of the street-facing building facade. If the parcel width is too narrow to comply with this standard, the following alternatives may be approved by the review authority:
 - (1)** Stacked or tandem parking, or
 - (2)** A garage setback of at least five feet from the front plane of the residential portion of the building (the individual garage bays may be staggered if there is at least a five-foot setback between the rear-most bay and the front plane of the residential portion of the building), or
 - (3)** If the preceding alternatives are not feasible, other design or decorative measures that accomplish the intent of this standard may be approved by the review authority.

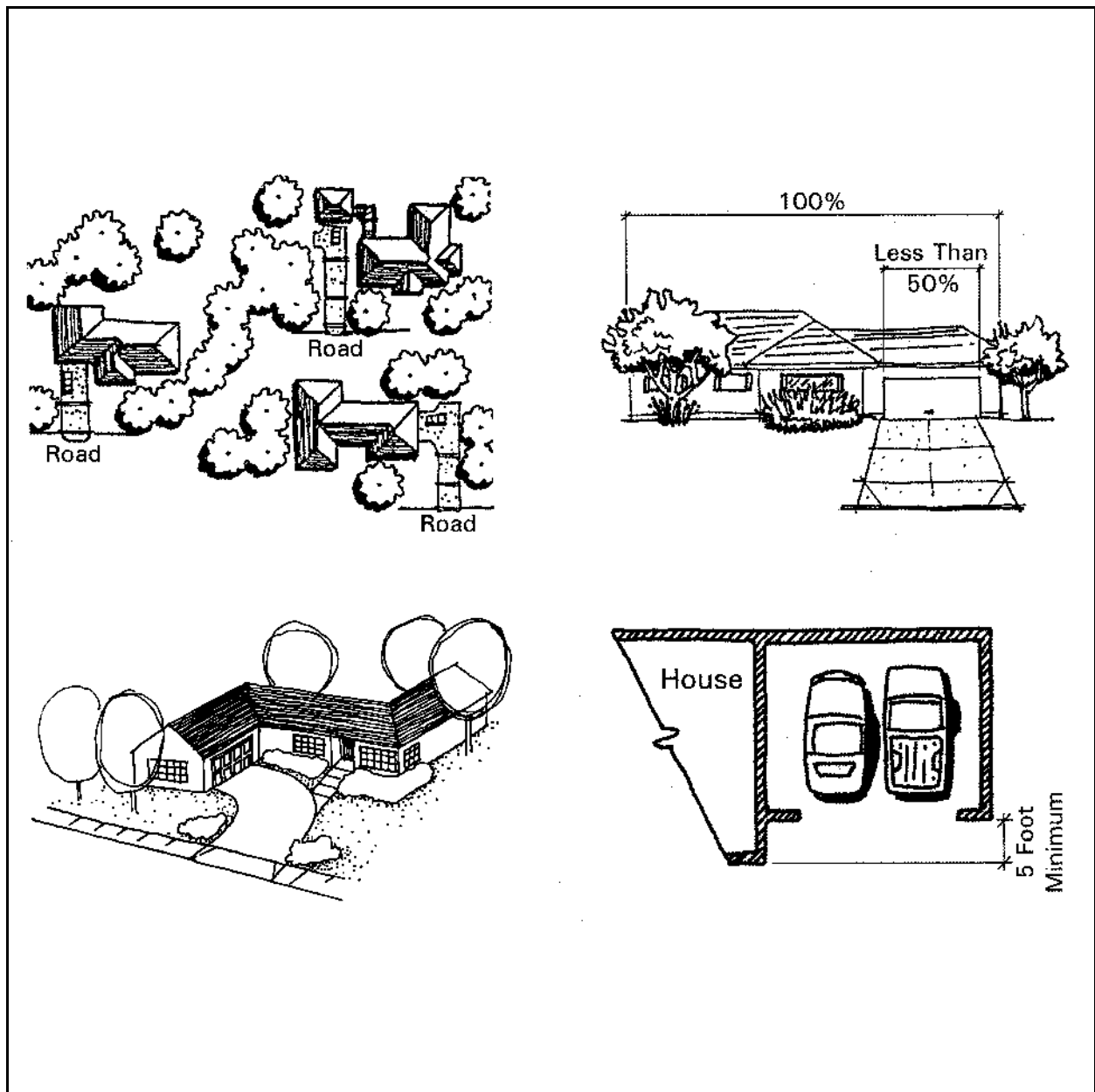


Figure 7-44: Residential Garage Size and Location

M. Residential Development and Design Guidelines

The following guidelines apply to proposed new land divisions, Minor Use Permits and Development Plans in all residential categories (see also design standards for particular categories in this section).

- 1. Diversity in Appearance.** *New land divisions, and Minor Use Permit and Development Plan applications for development of more than one dwelling unit should provide diversity in appearance, such as:*
 - a.** *A variety of exterior colors.*
 - b.** *A variety of exterior design features, such as facades, roof pitches, building materials, and architectural style.*
- 2. Gated Communities.** *Gated communities are discouraged.*
- !** **Perimeter Walls and Fences.** *Perimeter walls and fences higher than three feet along streets are discouraged, except where: 1) they are located along the street sides of corner lots, or 2) an acoustical analysis demonstrates that there is no feasible alternative to reduce noise levels to an acceptable level, or 3) the walls or fences are needed due to topography or to reduce the amount of grading. In preceding cases 2) and 3), walls and fences shall be designed to be attractive and not highly visible to the public, using the following guidelines, as illustrated in Figure 7-45.*
 - a.** *Where feasible, set back walls and fences from the street.*
 - b.** *Where feasible, provide landscaped buffers or parkways between walls and the street.*
 - c.** *Provide landscaping and/or earthen berms to partially screen the wall or fence from public view.*
 - d.** *Provide articulation, texture, or other features to make the wall or fence more visually pleasing.*
- 4. Front Setbacks--Single-Family Dwellings.** *Minimum front setbacks are as set forth in Chapter 23.04 of the Coastal Zone Land Use Ordinance, except that when these standards conflict with setback standards specified in the Coastal Zone Land Use Ordinance, these standards shall prevail. Front setbacks from the property line should be as follows, except where they would be inconsistent with the prevailing front setbacks on that block, and unless otherwise required in this plan. Adjustments to the Coastal Zone Land Use Ordinance may be approved to implement these guidelines:*

- a.** *Where the plane of the garage door is parallel to the street: a minimum of 20 feet from the garage, and a minimum of 10 feet from all areas of the dwelling unit other than the garage.*
- b.** *Where the plane of the garage door is roughly perpendicular to the street or not directly visible from the street and there is sufficient room in the driveway to accommodate at least one vehicle: 10 feet.*

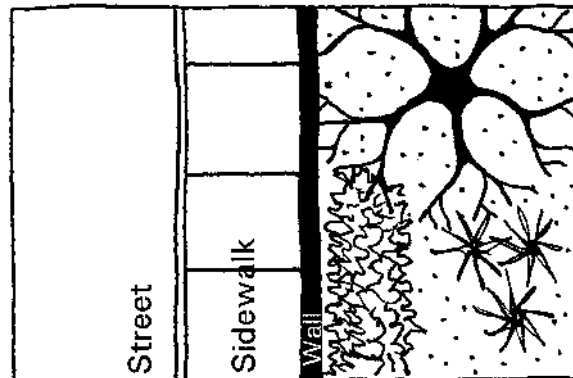
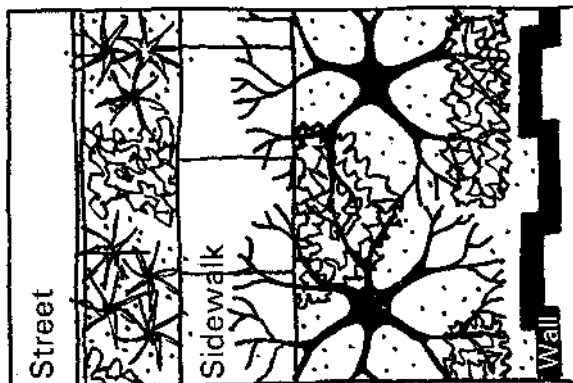
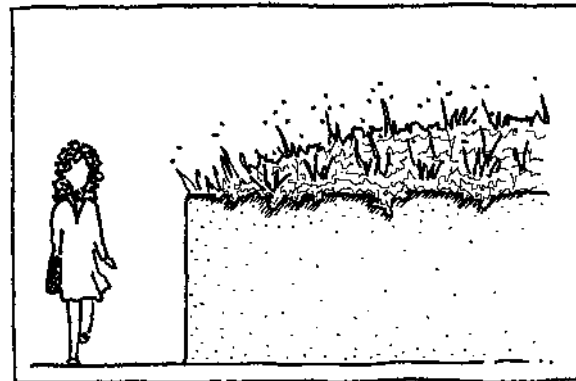
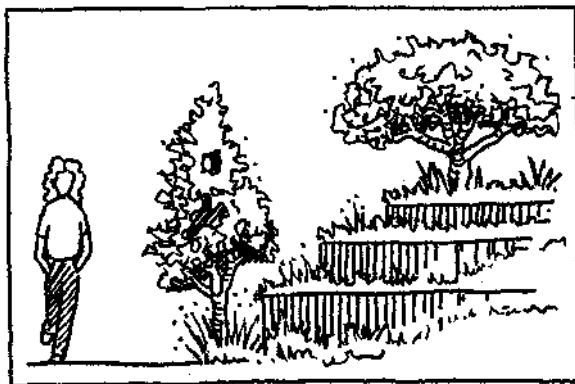


Figure 7-45: Wall and Fence Design

COMBINING DESIGNATIONS: The following standards apply to lands in the Local Coastal Program (LCP), Sensitive Resource Area (SRA), and Transfer of Development Receiving Sites (TDCR) combining designations, as listed below.

A. Local Coastal Program (LCP)

Coastal Access and Recreation Cuesta Inlet. ~~Standards 1 and 2 apply only to the Cuesta Inlet area (Blocks 4, 5, 13, 14, 34 and 35 of Cuesta by the Sea Tract and APN #74-08-011).~~ **1. Prescriptive Rights.** New development **in the following areas** shall **include the specified access and improvements.** Any existing free public access to recreational areas shall be **maintained.** ~~be required to provide Public access consistent with existing prescriptive rights.~~

~~**2. Shoreline Access Improvements.** New development shall be required to provide the following improvements:~~

- ~~**a.** Three pedestrian trails; one each in the vicinity of Mitchell Drive, Doris Avenue and Nancy Avenue.~~
- ~~**b.** A small parking area at both Doris and Nancy Avenues access points.~~
- ~~**c.** A boat launching area near Doris and Nancy Avenues.~~

1. Cuesta Inlet (see Figure 7-36): Provide coastal recreation, and public access to and along the shoreline of the Cuesta Inlet, consistent with protection of sensitive habitat.

~~**2.3. Tract 40 (Small-Scale Neighborhood) Bayfront Development (see Figure 7-36):**~~ **Public Access Setback.** New bayfront development in Tract 40 shall be required to ~~record~~ **Provide** a minimum 30- foot **wide** lateral easement extending from the inland extent of wetland vegetation, primarily for habitat protection and secondarily for public access.

Sweet Springs

- ~~4. **Public Access - Sweet Springs.** At the time of development north of Ramona Avenue, provision of public access consistent with protection of existing prescriptive rights is required, including the following improvements. (Whitehole)~~
 - ~~a. Offer to dedicate appropriate public access trails. (Whitehole)~~
 - ~~b. Trails designed to preclude access within identified wetland areas. (Whitehole)~~
- 3. 5. Bayfront From Pecho Road Westward to Urban Reserve Line:** New bayfront development from between Pecho Road westward to the urban reserve line and Butte Drive shall provide an offer to dedicate a lateral easement. An improved lateral pedestrian trail and signs are to be provided at a level consistent with prescriptive rights and protection of the wetland habitat and existing prescriptive rights.

B. Sensitive Resource Area (SRA)

- ~~1. **Site Planning - Development Plan Projects.** Projects requiring Development Plan approval are to concentrate proposed uses in the buildable least sensitive portions of properties. Native vegetation is to be retained as much as possible.~~

~~NOTE: THE SWEET SPRINGS AREA HAS BEEN "WHITEHOLED" BY ACTION OF THE COASTAL COMMISSION AND THE COUNTY. THIS MEANS THAT THE DEVELOPMENT STANDARDS HAVE BEEN HELD IN ABEYANCE UNTIL THE COUNTY SUBMITS REVISIONS TO THE LOCAL COASTAL PLAN. THE STANDARDS IN EFFECT FOR THIS AREA ARE CONTAINED IN THE LAND USE ELEMENT OF THE COUNTY GENERAL PLAN (SEE APPENDIX A FOLLOWING THIS PLAN).~~

Sweet Springs and Cuesta-by-the-Sea Marsh (SRA)

- ~~2. **Wetland Setback.** If acquisition is not completed, a buffer area to be determined by the detail survey of the property by a qualified biologist will be required to be retained in a natural condition. This should be dedicated to the appropriate public agency or secured through open space easements. Development shall be clustered to minimize impacts on the surrounding wetland. (Whitehole)~~
- ~~3. **Runoff.** Upland Development will be required to provide measures to handle runoff on-site.~~

Morro Bay (SRA)

1. 4. Residential Density, New Land Divisions. ~~Permit Requirement. Where government acquisition of privately owned parcels within or adjacent to the bay is not feasible, development proposals for unsubdivided areas are to cluster uses in the least sensitive portions of properties and preserve the remainder for open space. Site design shall include a survey of the property by a qualified biologist to determine the extent of the wetland and other habitat values of the site. Mitigation measures to include setbacks, shall be incorporated in site design. Density shall be computed on the gross site area excluding the portion that is identified as wetland. The cluster division or planned development process should be used to allow an adequate buffer for the habitat and to incorporate public access requirements. Native vegetation is to be retained as much as possible.~~

2. 5. Wetland Setbacks. ~~New development shall be set back as shown in Table 7-4 and Figure 7-46 in order to protect sensitive~~ **vegetation and habitat.** ~~The following setbacks shall be required to provide appropriate separation between development and the wetland. Setbacks established here supersede the 100 foot setback requirement by the Coastal Zone Land Use Ordinance. However, in no case shall a setback be adjusted pursuant to Section 23.07.172 of the CZLUO to less than the following standards. Setbacks are measured between the upland extent of the wetland vegetation and development. The minimum setbacks are as follows:~~

- ~~a. For the area west of Tract 316 (APN 74-022-03): To be determined by the Coastal Zone Land Use Ordinance;~~
- ~~b. For Tract 316 (Butte Drive Neighborhood): 50 feet;~~
- ~~c. For the area between Butte Drive and Pecho Road: On the lots located between Butte Drive and Pecho Road all structures shall be located a minimum of 100 feet from the wetland and its riparian area.~~
- ~~d. For the area between Pecho Road and Doris Avenue which is the south half of Cuesta Inlet (Blocks 4 and 5 Cuesta by the Sea Tracts): 75 feet;~~
- ~~e. For the area comprising the north half of Cuesta Inlet (Blocks 13, 14, and 35 of Cuesta by the Sea Tract): 50 feet;~~

Table 7-4, Wetland Setbacks

LOCATION	MINIMUM SETBACK (FT.) ¹
West of Tract 316 (Butte Drive RESIDENTIAL SINGLE FAMILY category)	100 Per CZLUO ²
Tract 316 (Butte Drive RESIDENTIAL SINGLE FAMILY category)	50
Butte Drive to Pecho Road	100
Pecho Road to Doris Ave. (south half of Cuesta inlet) Blocks 4 and 5 , Cuesta by the Sea Tract)	75
North half of Cuesta inlet (blocks 13,14, and 35 Cuesta-by-the-Sea Tract)	50
Doris Avenue to Tract 40 near (1st street.)	75
Tract 40 (Along Pasadena Drive, Santa Lucia Ave.)	75 (except where adjusted per Chapter 23.07, CZLUO ² , but no less than 50')
East and Northeast of Tract 40	50, (except where adjusted per Chapter 23.07, CZLUO ² , but no closer than 25' from the mean high tide line)
<p>1. The required setbacks are minimum distances as measured from the upland extent of wetland/riparian vegetation. Unless specified, these setbacks supersede the setback standards in the CZLUO²</p> <p>2. Coastal Zone Land Use Ordinance</p>	

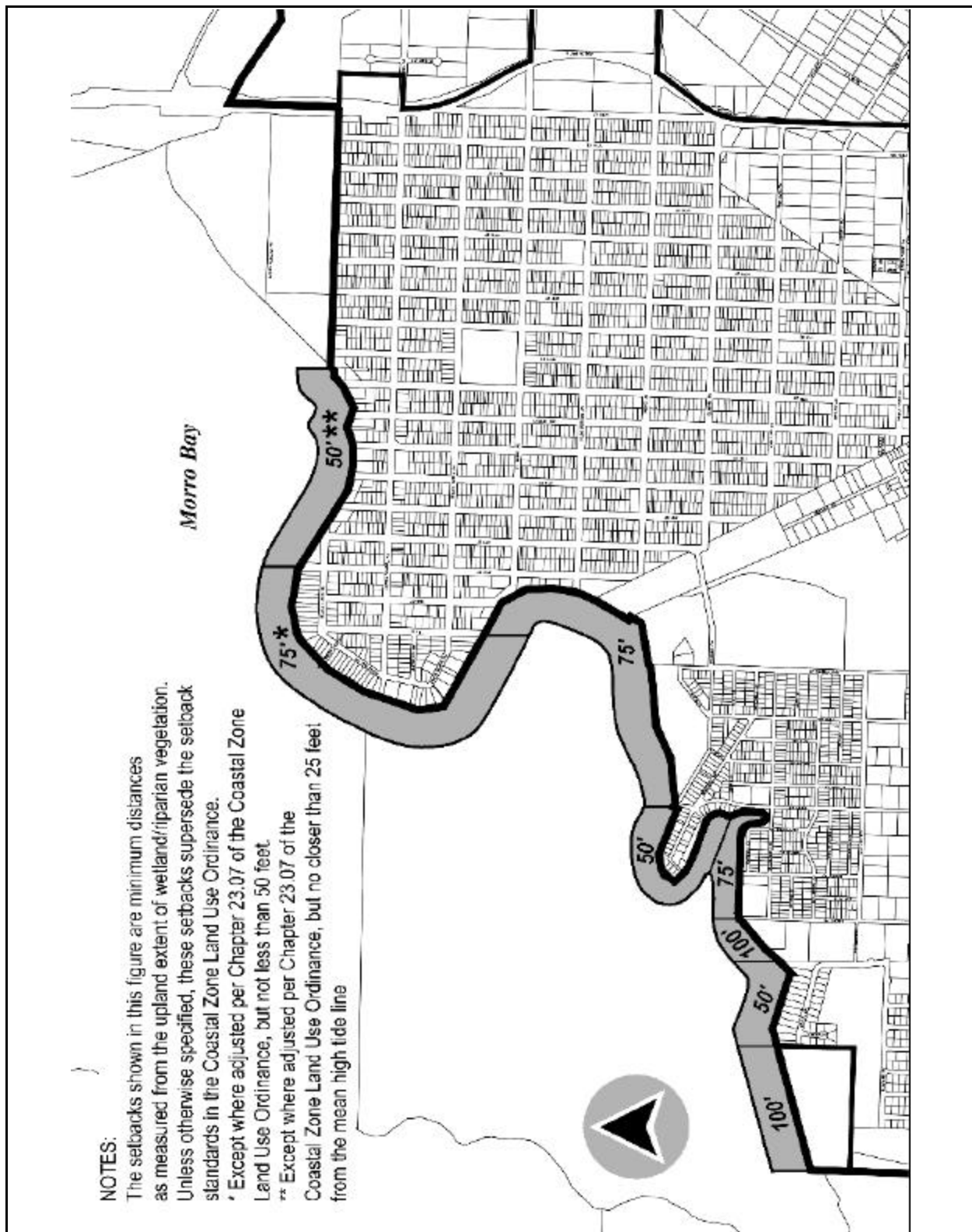


Figure 7-46: Wetland Setbacks

- ~~f. For the area between Doris Avenue northeast to Tract 40 near First Street: 75 feet;~~
 - ~~g. For lots within Tract 40: 75 feet except where adjusted down to no closer than 50 feet from ;the wetland pursuant to Section 23.07.112d(2) of the CZLUO~~
 - ~~h. For the area east and northeast of Tract 40: 50 feet except where adjusted pursuant to Section 23.07.172d(2) of the CZLUO. In no case shall development occur closer than 25 feet from the mean high tide line.~~
- ~~6. **Shoreline Access.** Public access shall be monitored or controlled in those cases where degradation of habitat resources occurs.~~

Los Osos Dune Sands Morro Bay Kangaroo Rat Habitat (SRA). The following provisions are intended to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat (which is an Environmentally Sensitive Habitat). Such habitat is of relative high quality compared to that on smaller, isolated, undeveloped lots in the mostly developed, “central urbanized area” of Los Osos (see Figure 7-47). Following are the specific objectives:

- ! Preserve, maintain, and protect rare and specific endangered species;
 - ! Throughout Los Osos, preserve, maintain, and enhance the following environmentally sensitive areas: 1) Los Osos Dune Sands habitat, and 2) natural land forms that are barren or covered with non-native plants and that are potentially restorable to native plant cover such as Morro manzanita and Indian Knob mountainbalm;
 - ! Eliminate any incentives for the illegal or inappropriate removal of Dune Sands habitat;
 - ! Ensure that all new development is compatible with and sensitive to Los Osos Dune Sands habitat;
 - ! Subordinate all public and private development to the protection of critical natural areas
- 3. Los Osos Dune Sands Development Standards.** The following standards apply to new development within the areas designated “Los Osos Dune Sands SRA-TH” in Figure 7-47, except where 1) the total amount of site disturbance is less than 500 square feet, or 2) the Planning Director determines that the proposed activity is otherwise sufficiently minor that no adverse effects on habitat can result. Within this area, the highest conservation priority is avoiding disturbance of sensitive Los Osos Dunes habitat. This is encouraged through participation in the Los Osos Community-Based Transfer of Development Credits (TDC) Program.

- a. Required Findings.** Approval of a land use permit shall not occur unless the review authority first finds that, in addition to the required findings for Environmentally Sensitive Habitats specified in Chapter 23.7 of the Coastal Zone Land Use Ordinance, the project incorporates all feasible and reasonable means of maintaining Los Osos Dune Sands habitats.
- b. Resource Maintenance and Restoration Plan and Biological Survey.** Land use permit applications shall include a resource maintenance and restoration plan and biological survey prepared by a qualified biologist approved by the Environmental Coordinator. The recommendations of this plan and survey shall be incorporated into the project design and conditions at the discretion of the Planning Director.

 - (1) Required contents.** The resource maintenance and restoration plan and biological survey shall recommend design, construction, restoration/enhancement, maintenance, and monitoring measures for the entire site, as applicable, to achieve the preceding specified purposes of the Los Osos Dune Sands SRA.
 - (2) Survey methodology.** Biological survey methodology shall at a minimum comply with California Department of Fish and Game and U.S. Fish and Wildlife Service guidelines.
 - (3) Monitoring.** The monitoring measures recommended in the resource maintenance and restoration plan may include frequent monitoring during and soon after the completion of initial habitat restoration and/or enhancement activities, and less frequent monitoring after plants are well-established.
 - (4) Referrals.** The resource maintenance and restoration plan and biological survey shall be referred for review and comment to the California Department of Fish and Game, and the California Coastal Commission if requested by the Coastal Commission. The Planning Director may require that the plan be revised to include any additional project modifications recommended by these agencies as being necessary to reduce impacts to sensitive habitat.

LOS OSOS URBAN AREA: COMBINING DESIGNATIONS

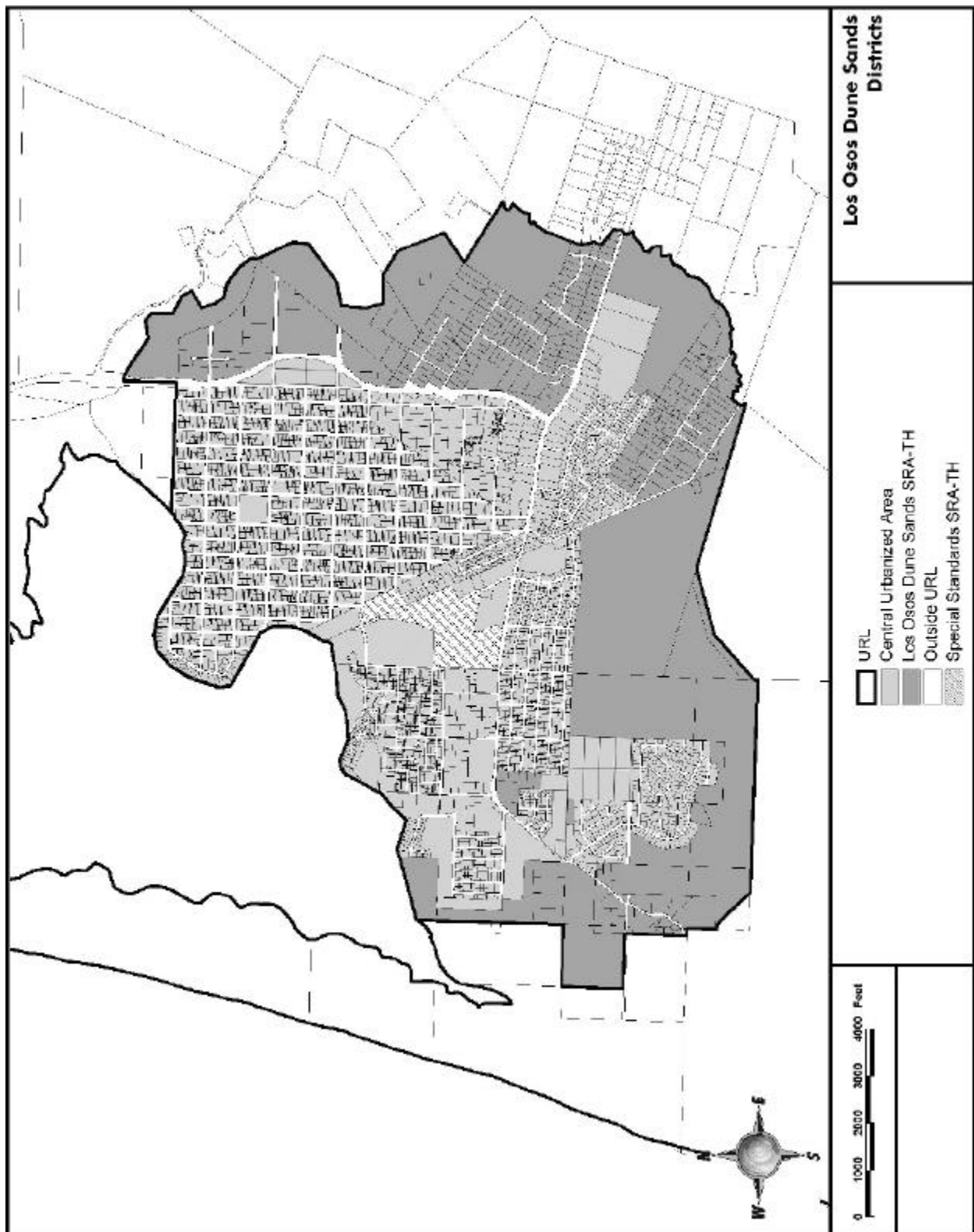


Figure 7-47: Los Osos Dune Sands Districts

- c. Landscaping Plan.** A landscaping plan in accordance with Chapter 23.04 of the Coastal Zone Land Use Ordinance shall be required where development will disturb existing or potential native dune plant habitat. The landscaping plan shall include restoration planting on the site, including areas to be permanently protected, as recommended by the required resource maintenance and restoration plan. Invasive, non-native plants, including Pampas grass, Acacia, Genista, and non-native iceplants, pose a threat to the indigenous plant community and shall not be approved as part of proposed landscaping. The use of other non-native plants shall be limited to the outdoor living space immediately adjacent to the proposed development (i.e., within the defined building envelope) and shall not be used within a conservation easement or other area to be set aside for permanent protection.
- d. Conservation Instruments.** If proposed development will disturb sensitive habitat supporting or potentially supporting Morro manzanita, Indian Knob mountainbalm, or other rare or endangered species, as determined by the required resource management and restoration plan and biological survey, all portions of the property beyond the maximum area of site disturbance specified in this standard shall be permanently protected by agreements, easement controls, or other appropriate instrument, consistent with applicable legal requirements to allow reasonable use of the site.
- e. Long-term maintenance and monitoring.** When areas to be permanently protected through conservation instruments are to remain in private ownership, the owner shall enter into a long-term maintenance and monitoring agreement with the county prior to issuance of building permits. The agreement and any easement shall provide for, but not be limited to, all of the following.

 - (1)** The ongoing maintenance of remaining Los Osos Dune Sands habitat in a natural state.
 - (2)** The restoration of native plants, as recommended by the approved resource maintenance and restoration plan, and as shown in the approved landscape plan.
 - (3)** The long-term monitoring of rare and endangered plants and the maintenance of supporting habitat, as recommended by the approved resource maintenance and restoration plan.
 - (4)** Requirements for financial security, including guarantees to cover the cost of:

- (i) The proper completion of restoration measures (for example, plant installation and the eradication of non-native species) within a specified time; and
- (ii) The proper maintenance of restored and undisturbed areas over a specified time (for example, five years), and the monitoring of those efforts.

These requirements may also include penalty provisions such as extensions of the monitoring period, in addition to the forfeit of funds provided, in response to a failure to perform as agreed.

- f. Site Disturbance.** This standard is intended to provide maximum preservation of Los Osos Dune Sands and its associated habitat of rare and endangered species. The maximum amount of site disturbance specified in subsection f(1) of this standard shall be reduced by the review authority to the extent necessary to ensure protection of habitat for Morro manzanita, Indian Knob mountainbalm, or any other rare or endangered species determined to be present on the site. However, limitations on the amount of site disturbance shall be consistent with applicable legal requirements to allow reasonable use of the site.

Site disturbance includes disturbance of the following areas in connection with non-agricultural activities: areas disturbed by structures, roads, utility trenching, and pavement; areas on which grading or removal of native vegetation occurs. Site disturbance does not include activities that are consistent with the restoration and maintenance of native plant habitats as guaranteed by project approval.

- (1) Limitation on Site Disturbance.** Where it is not feasible to locate a building site without causing adverse impacts to Los Osos Dune Sands, its associated habitat of rare and endangered species, and the required setbacks therefrom, as verified by the required biological report, the maximum total, aggregate amount of site disturbance shall be as follows:
- (i) **Sites Less Than or Equal to One Acre in Area.** 10,000 square feet.
 - (ii) **Sites Greater Than One Acre in Area.** 20,000 square feet.

- (iii) **Recreation Category: West of Pecho-Western Fringe Area.** As specified in the standards in this Chapter for the Recreation category, West of Pecho-Western Fringe Area.
- (2) **Adjustment of Limitation on Site Disturbance.** The limitation on site disturbance in preceding Section 3f(1) may be adjusted through a Minor Use Permit provided that the following findings can be made:
 - (i) An adjustment is necessary to allow reasonable use of the site, or compliance with the limitations on site disturbance would cause more environmental damage on balance than an alternative that exceeds those limitations; and
 - (ii) Alternative designs that comply with the limitations on site disturbance are infeasible or more environmentally damaging; and
 - (iii) Adverse environmental impacts are mitigated to the maximum extent feasible; and
 - (iv) The adjustment is the *minimum amount necessary* to allow reasonable use of the site.
- g. **Resource Protection During Construction.** Habitat containing Morro manzanita, Indian Knob mountainbalm, and other rare and endangered species shall be protected from disturbance by construction activities. Temporary wire mesh fencing shall be placed around such habitat prior to construction, and protected areas shall not be used by workers or for the storage of machinery or materials.
- h. **Permanent Fencing.** Permanent fencing shall be restricted to that which will not impact the free passage of native wildlife, and shall employ design and materials determined by the review authority to be compatible with the open space character of the Los Osos Dune Sands habitats.
- i. **Utilities.** Where feasible, utility connections shall be installed in a single corridor, and shall avoid surface disturbance of conservation easements or other areas to be set aside for permanent protection of sensitive habitat.

- j. Destroyed Structures.** Where a dwelling has been destroyed pursuant to Coastal Zone Land Use Ordinance Section 23.09.033a, it may be restored or a new dwelling rebuilt within the existing footprint without having to comply with the preceding Los Osos Dune Sands Habitat standards 3a-i (“Los Osos Dune Sands Development Standards”)
- 4. Morro Shores Mixed Use Area.** Development within the Morro Shores Mixed Use Area, as shown in Figures 7-48 and 7-59, shall comply with the applicable standards for this area in Section E of the Residential Multi-Family category standards.
- ~~7. **Site Selection and Clustering.** Wherever new development should be clustered and located as far away from the identified habitat area as feasible.~~
- ~~8. **Vegetation Preservation.** Significant vegetation that is a habitat erosion retardant or adds to the visual integrity of the areas shall be protected. This vegetation includes but is not limited to pygmy Oak Shores, scrub Oak Shores, Morro Bay Manzanita, Bishop pine, large areas of sage brush, and large stands of introduced trees such as eucalyptus and cypress. Removal of hazardous trees will be permitted in accordance with the Land Use Ordinance.~~
- 5. 9. Setbacks.** New ~~land subdivisions~~ **and development** adjacent to public holdings on the ~~western fringes of the urban area shall are to~~ provide a ~~25~~ **50-foot minimum** building setback **from public lands** to buffer the sensitive resource and habitat areas. **Applications for land divisions and development shall include a biological report that verifies the adequacy of the setback or recommends a greater setback where needed to protect environmentally sensitive areas as defined in Section IIIA in this chapter.**

COMMERCIAL RETAIL: The following standards apply only to lands within the Commercial Retail land use category.

- A. Permit Requirement, Central Business District and Baywood Commercial Area.** Minor Use Permit approval is required for proposed development for which the Coastal Zone Land Use Ordinance normally requires Development Plan approval, and that fully meets the applicable standards in the Coastal Zone Land Use Ordinance (without the need for waivers or modifications), as well as the following standards *and design guidelines* for the central business district and the Baywood Commercial areas. This standard shall not apply when Plot Plan approval or zoning clearance is otherwise required, or when Development Plan approval is specifically required in the following standards.
- B. Accessory Uses.** Where this area plan permits primary uses in the Retail Trade use group as listed in Coastal Table O, Part I of the Land Use Element, other non-retail uses are also allowable on the same site, such as related manufacturing and processing and services, provided that they are clearly incidental and accessory to the primary retail trade use. Such incidental uses shall also comply with all applicable operational standards of Chapter 23.06 of the Coastal Zone Land Use Ordinance.
- C. Central Business District.** The following standards apply within the central business district, as shown in Figure 7-48:
- 1. Height.** Maximum building height shall be 35 feet.
 - 2. Mixed-Use Development.** This standard is intended to encourage provision of a mixture of residential and non-residential uses on the same site. The purpose of this standard is to encourage provision of affordable and senior housing in close proximity to shopping and services, and to increase economic and social activity downtown. Residential development shall be subject to the standards in Chapter 8 of the Coastal Zone Land Use Ordinance--Residential Uses in Office and Professional or Commercial Categories--except that where those standards conflict with the following standards, the following standards shall prevail.
 - a. Site Coverage.** Residential development, excluding garages, shall comprise no more than 50% of the total floor area of the entire mixed-use site (residential and non-residential), and no more than 60% of the total floor area of the entire mixed-use site for development that meets the housing affordability standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance.

LOS OSOS URBAN AREA: COMMERCIAL RETAIL CATEGORY

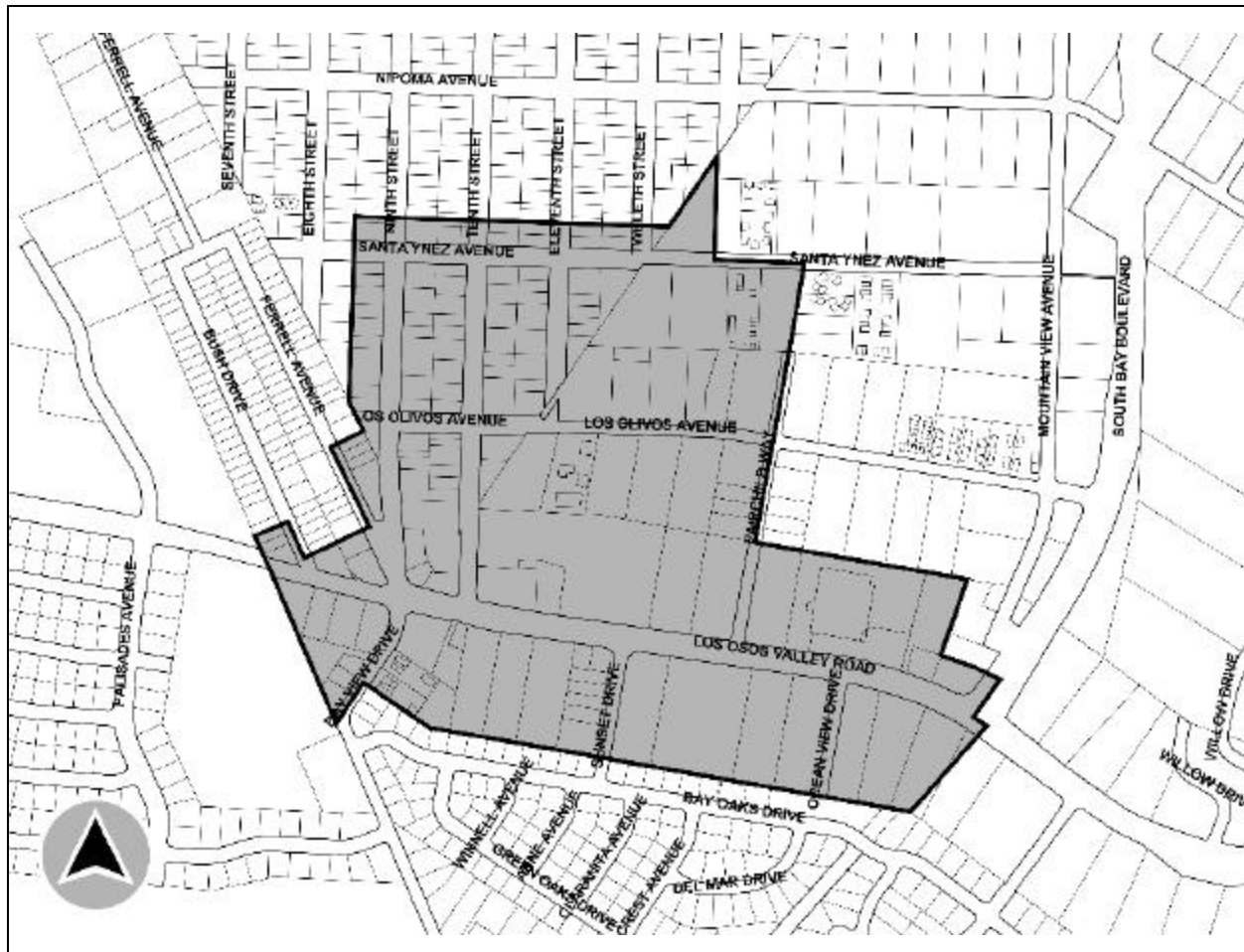


Figure 7-48: Los Osos Central Business District

- b. Floor and Open Area.** The maximum floor area and minimum open area requirements in Chapter 4 of the Coastal Zone Land Use Ordinance shall not apply. Instead, the land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project.
- c. Residential Density.** Maximum residential density shall be 15 dwelling units per acre, calculated using the acreage of the entire mixed use site. The density of senior citizen housing shall be as specified in the following subsection f.
- d. Total Residential Development.** The total combined amount of residential development, including caretaker residences, in both the Commercial Retail and Office and Professional land use categories within the central business district shall not exceed 100 dwelling units.

- e. **Detached Residential Development.** Residential development that is not attached to the non-residential use may be approved only if all of the following are satisfied, in addition to the preceding standards for mixed-use development:
 - (1) **Location.** Residential development shall be located mainly behind the primary non-residential use(s) on the same site.
 - (2) **Site Coverage--Separate Parcel.** If residential uses are developed on a separate parcel, that parcel shall comprise no more than 50% of the parcel area of the total mixed use site.
 - (3) **Agreement for Non-Residential Use--Separate Parcel.** Residential uses may be developed on a parcel that is separate from the one developed with non-residential uses, provided that the owner of the parcel to be developed with non-residential uses enters into an agreement with the county to prohibit any future residential development on that parcel.
 - (4) **Side and Rear Setbacks.** Where the side or rear yard of residential development is adjacent to a non-residential land use category, the minimum setback for the residential development shall be as specified in Chapter 4 of the Coastal Zone Land Use Ordinance for side and rear setbacks, as applicable, in Commercial and Industrial categories adjacent to a residential category/residential use.
 - (5) **Pedestrian Connections.** Mixed use development shall include, where possible, convenient pedestrian connections between residential and retail commercial uses on the site.
- f. **Senior Citizen Housing.** Senior citizen housing is subject to the following standards, in addition to the preceding mixed-use development standards. Senior citizen housing consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over; or b) residential development consisting of at least 35 dwellings specifically designed to meet the physical and social needs of persons aged 55 and over.
 - (1) **Residential Density.** Maximum residential density shall be 19 dwelling units per acre calculated using the acreage of the entire mixed use site.
 - (2) **Parking.** Parking spaces shall be provided at a ratio of 0.75 space per dwelling unit in accommodations for independent living, and 1 space per 3 dwelling units in assisted living accommodations. Parking for Residential Care and Nursing and Personal Care facilities shall be provided as specified in Chapter 23.08 of the Coastal Zone Land Use Ordinance.

- (3) **Design.** Projects shall be sensitively designed to meet the special needs of senior citizens, especially with regard to: general safety; safe and convenient pedestrian access on gentle slopes, both within the project and connecting to community services and facilities; recreational choices; environmental amenities; social interaction; and integration with the larger community.

- 3. 6- Site Design.** New development shall facilitate pedestrian movement and activities **and bicycle travel** through design of buildings, parking areas, landscaping, and streetscapes. Design measures shall include the following and are **conceptually** illustrated in Figure **7-49 8-11:**.

MOVED FROM FOLLOWING STANDARDS FOR NORTH SIDE OF LOS OSOS VALLEY ROAD BETWEEN SOUTH BAY BLVD. AND FAIRCHILD WAY

- a. Locate ~~the building entry facades of buildings~~ primarily adjacent to, **but no more than 5 feet from** the sidewalk **along front and street-corner side property lines, Los Osos Valley Road, or adjacent** to interior pedestrian spaces with access to **streets Los Osos Valley Road**.
- b. Landscape all pedestrian spaces. Provide public gathering spaces with benches on the site. Provide conveniently located bicycle racks throughout the site.
- c. Encourage shared parking among businesses.
- d. Locate landscaped parking areas to the rear or side of **non-residential commercial** buildings, and design the parking areas to be integral with (not dominating) the buildings.
- e. Provide convenient connections between parking areas, businesses and adjoining properties through pedestrian-oriented and scaled spaces.
- f. The number, location and design of driveways shall function in accordance with the planned center median on Los Osos Valley Road as recommended in the approved *South Bay Circulation Study*.
- g. No building service facades shall face Los Osos Valley Road.

- h.** Where feasible and where adequate right-of-way exists, sidewalks shall provide a clear walking lane at least eight feet wide, not including any areas needed for street trees, street furniture, newspaper racks, and the curb.
- 4. Compatibility with Residential.** The type and design of uses shall be compatible with existing and future residential development in adjacent residential land use categories.
- 5. Drainage Basins.** Drainage basins in new development shall be placed either a) underground; or b) on the surface if designed for recreational or other public use and attractively landscaped.

Design Guidelines

Ground Floor Uses

- !** *In order to attract customers and promote pedestrian activity, retail uses are encouraged on the ground floor fronting the street, while office, residential and other non-retail uses should be located on the upper floors or on the rear portion of the site.*

Building Design

- 7.** ~~Building Design Guidelines.~~ *The design of new construction shall be pedestrian-oriented and have a human scale that is compatible with the scale of existing development in the central business district. Preferred design measures include the following: **MOVED FROM FOLLOWING STANDARDS FOR NORTH SIDE OF LOS OSOS VALLEY ROAD BETWEEN SOUTH BAY BLVD. AND FAIRCHILD WAY***
- !** ~~a.~~ *Provide Articulation of building facades to create relief and visual interest by using architectural elements such as awnings and projections, trellises, detailed parapets, and arcades.*
- !** ~~b.~~ *Locate**ions** of building entries within recessed entry bays to create transitional spaces between the street and buildings.*
- !** ~~c.~~ *Use **of** overhangs and awnings. Use **of** balconies over transitional spaces.*
- !** ~~d.~~ *Use of transparent glass windows or doors that together comprise more than 50 percent of the entry facade at ground level in order to allow pedestrians to see inside.*
- !** ~~e.~~ *Placement of store entrances/display windows at frequent intervals such as 25 feet in order to maintain visual interest for pedestrians. (see Figure 7-50).*

LOS OSOS URBAN AREA: COMMERCIAL RETAIL CATEGORY

- ! *Building facades or public spaces that occupy most or all of the site frontage, except where infeasible due to sensitive vegetation or other physical or environmental constraints.*
- ! *Building and site design that discourages eating and drinking places and other services with drive-through service.*

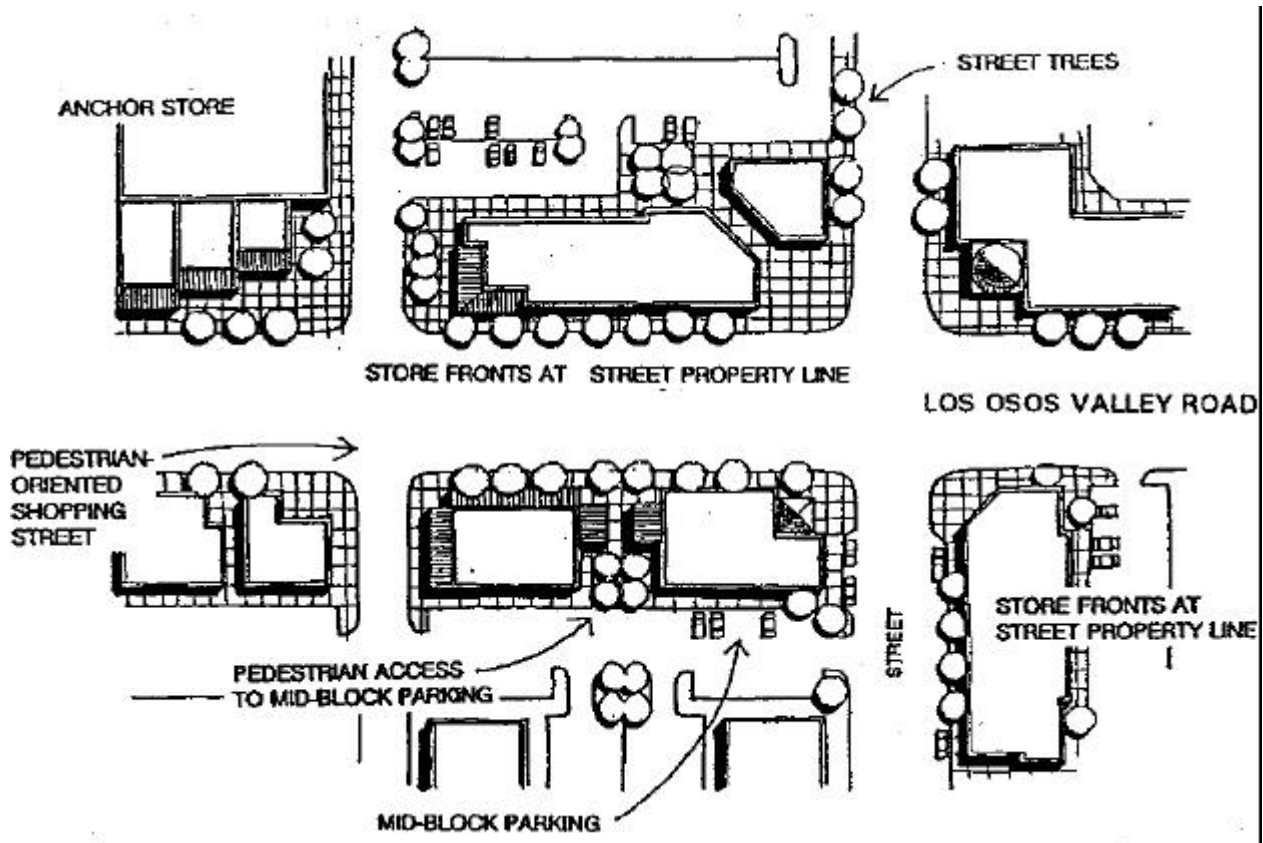


Figure 7-49: Pedestrian-Oriented Design Concept

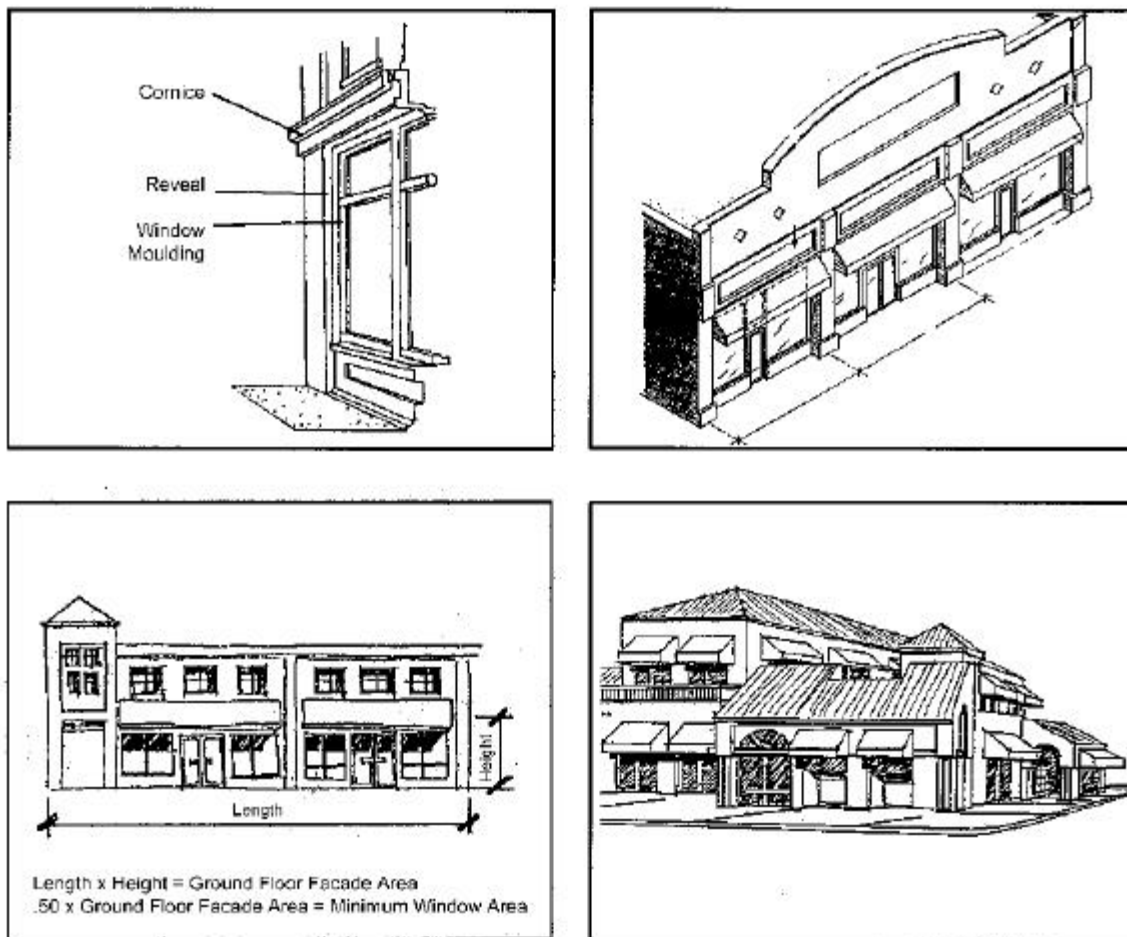


Figure 7-50: Example of Building Facade Design, Central Business District

D. Baywood Commercial Area (Special Community). The following standards apply within the Baywood Commercial Area as shown in Figure 7-51:

1. Limitation on Use ~~Baywood Park~~. All allowable uses are permitted in the Baywood ~~Park commercial area~~ in accordance with Coastal Table O, Part I of the Land Use Element, **except as follows:**

- a.** ~~Multi-family and single family dwellings~~ **and mobilehomes are not allowable on 1st Street, 2nd Street and on the west side of 3rd Street between Santa Maria and El Moro Avenues (see following standard D7):**
- b.** Auto, mobilehome and vehicle dealers and supplies; **and** food and kindred products **as a primary use are not allowable.**



Figure 7-51: Baywood Commercial Area-Residential Use Areas

2. **Height Baywood Village.** ~~New commercial development shall meet the following standards:~~ a. **Maximum building height shall be limited to 25-feet, except where a lower height limit is established (see the Los Osos Communitywide standards for Bayfront Development).**
3. ~~b.~~ **Signs.** ~~Freestanding signs, other than monument signs, are not permitted. Low Monument signs shall not exceed a height of six (maximum 8 feet in height and an area of not to exceed 20 square feet) shall be used.~~
 - c. ~~All utility lines shall be undergrounded from property lines to the commercial structure.~~
4. **Sidewalks. Sidewalks on 2nd Street shall be a minimum six feet wide, with a minimum four-foot wide parkway between curb and sidewalk. In all other areas of the Baywood Commercial area, sidewalks shall be a minimum four feet wide, with a minimum four-foot wide parkway between curb and sidewalk. Additional width**

may need to be provided to accommodate any street furniture that is proposed, so that for example, the minimum clear walking lane is no less than six feet on 2nd Street. These requirements for sidewalk or parkway width may be modified at the discretion of the review authority in consultation with the Department of Public Works through a Minor Use Permit (unless a Development Plan is otherwise required), based upon site-specific right-of-way and topographic constraints, and the ability to comply with the requirements of the Americans with Disabilities Act (ADA). Where feasible and where adequate right-of-way exists, sidewalks on 2nd Street shall provide a clear walking lane at least eight feet wide, not including any areas needed for street trees, street furniture, newspaper racks, and the curb. In all other areas, provide a clear walking lane at least four feet wide.

3. **Setbacks and Parking Location--2nd Street and Street-corner Sites.** Locate building entry facades primarily adjacent to, but no more than 5 feet from the sidewalk along front and street-corner side property lines adjacent to 2nd Street, or adjacent to interior plazas with access to streets. Locate landscaped parking areas to the rear or side of non-residential buildings, and design the parking areas to be integral with (not dominating) the buildings.
4. **Bay Access.** New development adjacent to the bay shall provide improved public access to the bay where feasible and consistent with protection of natural resources.
7. **Residential Uses.** Residential uses are allowable in the areas shown in Figure 7-51 as follows:
 - a. **East Side of 3rd Street from Santa Maria Ave. to South of El Moro Ave.**
 - (1) **Principal Use.** Multi-family dwellings are allowable as a principal use in accordance with applicable Coastal Zone Land Use Ordinance standards for multi-family development, except as follows:
 - i. **Chapter 23.08, Coastal Zone Land Use Ordinance.** The standards for residential uses in Office and Professional and Commercial categories shall not apply.
 - ii. **Density.** Maximum density shall be 15 dwelling units per acre.
 - iii. **Side and Rear Setbacks.** Where the side or rear yard of residential development is adjacent to a non-residential land use category, the minimum setback shall be as specified in Chapter 23.04 of the Coastal Zone Land Use Ordinance for side and rear setbacks, as applicable, in Commercial and Industrial categories adjacent to a residential category/residential use.

- (2) **Mixed Use.** Single-family and multi-family dwellings are allowable on the same site as non-residential development in accordance with the standards in Chapter 23.08 of the Coastal Zone Land Use Ordinance for Residential Uses in Office and Professional or Commercial Categories, except that maximum residential density is 15 dwelling units per acre, calculated using the acreage of the entire mixed use site (residential plus non-residential).
- b. **All Areas, Except for the East Side of 3rd Street from Santa Maria Ave. to South of El Moro Ave. West Side of 3rd Street from Santa Maria Ave. to North of Santa Ysabel Ave., and North and South Sides of Santa Ysabel Ave. from 3rd to 4th Streets.** Single-family and multi-family dwellings are allowable on the same site as non-residential development in accordance with the standards in Chapter 8 of the Coastal Zone Land Use Ordinance for Residential Uses in Office and Professional or Commercial Categories, except as follows:
- (1) **Location.** Residential development shall be located only on the upper floor(s) above a non-residential use. **NOTE:** residential development may not be possible on certain lots due to height limits; see the Los Osos Communitywide standards for Bayfront Development
- (2) **Density.** Maximum residential density is 15 dwelling units per acre, calculated using the acreage of the entire mixed use site (residential plus non-residential).
- (3) **Parking. Notwithstanding any other provisions of this plan, the number of parking spaces shall be as required by the Coastal Zone Land Use Ordinance, and shall be provided on the site.**

Design Guidelines

New development should apply the following design principles. An example of how these principles might be applied is illustrated in the Baywood Commercial Area Design Concept shown in Appendix F, Figure F-2.

- a. *Design streets, streetscapes, landscaping, parking lots, and buildings to encourage pedestrian use and activities and bicycle travel:*
- ! *Provide building facades or public spaces that occupy most or all of the site frontage, except where infeasible due to sensitive vegetation or other physical or environmental constraints*
 - ! *Landscape all pedestrian spaces, which should be inter-connected by a network of walkways and plazas*
 - ! *Encourage shared parking among businesses*

- ! *Encourage the use of modifications to the parking standards in the Coastal Zone Land Use Ordinance to allow, where appropriate, the use of on-street parking spaces to help satisfy requirements for the number of on-site parking spaces*
- ! *Provide convenient connections between parking areas and businesses through pedestrian-oriented and scaled spaces; fences and other barriers between non-residential development should be avoided, especially for such development on 2nd Street*

b. *Design new development to emphasize the importance of public spaces*

E. Morro Shores Mixed Use Area (RMF, RSF, CR, CS) (see Figure 7-59). The standards for this area are listed in the Commercial Retail, Public Facilities category and the Residential Multi-Family category.

3. ~~Morro Palisades Limitation on Use.~~ ~~Uses shall be limited to nursery specialties; broadcasting studios; transmission and receiving facilities; amusement and recreational services (such as reducing salons, health spas, hot tubs and other indoor sports); libraries and museums; membership organizations; public assembly and entertainment; schools business and vocational; social service organizations; temporary events; collection stations; coastal accessways; eating and drinking places (not including drive-in restaurants, fast-food and refreshment stands); food and beverage retail sales; general merchandise stores; temporary or seasonal retail sales; financial services; offices; offices temporary; personal services; public safety facilities; hotels and motels; water wells and impoundments; caretaker's residence; and those cultural, education, and recreation uses normally allowed in the Commercial Retail category (See Coastal Table 0, Part I of the Land Use Element).~~ **MOVED TO THE COMMERCIAL RETAIL, PUBLIC FACILITIES CATEGORY**

F. ~~East of North Side of Los Osos Valley Road between South Bay Blvd. and Fairchild Way.~~ The following standards apply only to the ~~area 8.4 acres~~ located on the north side of Los Osos Valley Road between South Bay Boulevard and Fairchild Way, corresponding to 1995 Assessor Parcel Numbers 74 302 16, 17, 19, 20, 21, 22, and 23. *The preceding standards for the central business district also apply.* (see Figure 7-52 8-10).

1. 4. Permit Requirement. Development Plan approval is required for construction of new buildings and associated site improvements.

5. ~~Mixed Uses.~~ ~~A mixture of commercial and residential uses is encouraged.~~ **INCORPORATED INTO PRECEDING CBD STANDARDS**

6. Site Design. MOVED TO PRECEDING CBD STANDARDS

7. Building Design Guidelines. MOVED TO PRECEDING CBD STANDARDS

2. 8: Limitation on Use. In order to reduce air quality impacts, all allowable uses are permitted in accordance with Coastal Table O of the Land Use Element and Local Coastal Plan, except for eating and drinking places with drive-through service.

3. 9: Environmental Review. Development shall provide for mitigation of potential impacts involving traffic, air quality, archaeological resources, and noise levels/compatibility adjacent to residential land use categories.

COMMERCIAL RETAIL, PUBLIC FACILITIES: The following standards apply only to lands within the Commercial Retail, Public Facilities land use categories.

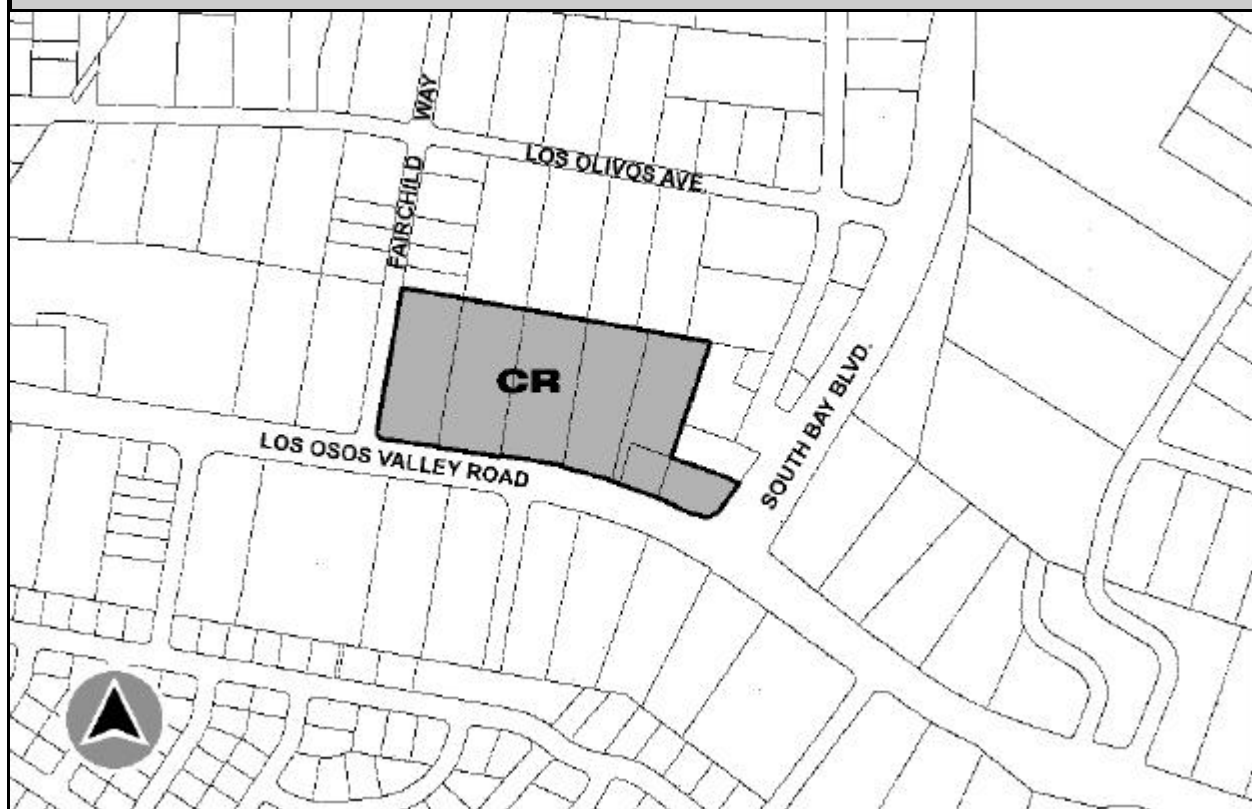


Figure 7-52: Commercial Retail Category East of Fairchild Way

The following standards apply only to the Commercial Retail, Public Facilities categories as shown in Figure 7-59.

A. 1: Limitation on Use.

- 1. a. Allowable Uses if Site Acquired for Public Facility Use.** The following uses shall be allowed ~~able~~ only in the event that the site is acquired by a public agency or special district and committed to public wastewater treatment facility uses: outdoor sports and recreation; passive recreation; public assembly and entertainment; temporary events; water wells and impoundments; outdoor retail sales; offices; pipelines and transmission lines; and public utility facilities.
- 2. b. Allowable Uses if Site Not Acquired for Public Facility Use.** If the site is not acquired by a public agency or special district and committed to public facility uses, uses shall be limited to nursery specialties; broadcasting studios; transmission and receiving facilities; amusement and recreational services (such as reducing salons, health spas, hot tubs and other indoor sports); libraries and museums; membership organizations; public assembly and entertainment; schools--business and vocational; social service organizations; temporary events; collection stations; coastal accessways; eating and drinking places (not including drive-in restaurants, fast-food and refreshment stands); food and beverage retail sales; general merchandise stores; temporary or seasonal retail sales; financial services; offices; offices-temporary; personal services; public safety facilities; public utility facilities; hotels and motels; water wells and impoundments; caretaker's residence; and those cultural, education, and recreation uses normally allowed in the Commercial Retail category (See Coastal Table O, Part I of the Land Use Element).
- B. 2. Public Utility Facility Standards.** Public Utility Facilities uses shall be subject to the special use standards for those uses in Chapter 23.08 of the Coastal Zone Land Use Ordinance as if they were shown as "S-13" uses in Table O, *Framework for Planning, Coastal Zone*.
- C. 3. Environmental Mitigation.** The land use/coastal development permit for development of a wastewater treatment plant and related facilities shall require implementation of the following mitigation measures as described on the listed pages in the *Final Environmental Impact Report for the Los Osos Community Services District Wastewater Facilities Project* (FEIR), SCH# 9911103, certified on March 1, 2001. Some of the following mitigation measures apply to other components of a proposed wastewater facilities project, as the entire project is expected to be processed under a single land use/coastal development permit.

 - 1. Geology.** Mitigation measures GEO-1 through GEO-9 on pages 112-113, Part II.
 - 2. Hydrogeology.** Mitigation measures H-1 through H-3 on page 114, Part II.
 - 3. Drainage.** Mitigation measures WR-1 through WR-3 on page 115, Part II.
 - 4. Cultural Resources.** Mitigation measures C-1 and C-2 on page 116, Part II.

5. **Traffic.** Mitigation measures TR-1 and TR-2 on page 117, Part II.
6. **Air Quality.** Mitigation measures AQ-1 through AQ-4 on pages 118-119, Part II.
7. **Noise.** Mitigation measures N-1, N-2, N-4, and N-5 on page 120, Part II.
8. **Public Health, Safety and Services.** Mitigation measures P-1 through PS-5 on pages 120-121, Part II.
9. **Visual Resources.** Mitigation measures AES-1 through AES-5 on page 121, Part II.
10. **Biological Resources.** Mitigation measures BIO-1 through BIO-16 on pages 121-128, Part II.

COMMERCIAL SERVICE: The following standards apply only to land within the Commercial Service land use category.

- ~~1. **Limitation on Use.** All allowable uses are permitted in accordance with Coastal Table O, Part I of the Land Use Element except hotels and motels.~~
- A. Height.** Maximum building height shall be 35 feet.
- B. Compatibility.** New uses and their design shall be compatible with existing and future residential uses in adjacent land use categories.
- C. Morro Shores Mixed Use Area (RMF, RSF, CR, CS) (see Figure 7-59).** The standards for this area are listed in the Residential Multi-Family category.

OFFICE AND PROFESSIONAL: The following standards apply only to lands within the Office and Professional land use category.

1. **Permit Requirement.** **MOVED TO PRECEDING COMMUNITYWIDE STANDARDS**
- A. Total Residential Development.** The total combined amount of residential development, including caretaker residences, in both the Office and Professional and Commercial Retail land use categories within the central business district shall not exceed 100 dwelling units.

B. Height, Central Business District. Maximum building height in the central business district shall be 35 feet.

C. ~~2.~~ West Side of 7th Street Between El Moro and Santa Maria Avenues. ~~Former Baywood Women's Club.~~ The following standards apply only to the **property shown in Figure 7-53.** ~~former Baywood Park Womens' Club site. (1992 Assessor's Parcel Number 38-202-47).~~

1. a. Limitation on Use. Uses identified in Coastal Table O, Part I of the Land Use Element/Local Coastal Plan as "A", "S" or "P" uses are limited to: churches, schools - pre to secondary, caretaker residence, residential care, membership organization facilities, and residential accessory uses.

2. b. Site Design Criteria. All new development shall resemble the size, character and scale of the surrounding residences, and shall provide landscaping between the new development and the frontage of the nearest public road. Pedestrian sidewalk(s) shall be provided between new development and the nearest public road. All outdoor lighting, play areas, and new parking spaces shall be located away from the adjacent residential property lines or shall be separated by a minimum 10-foot wide landscaping screen.

D. Morro Shores Mixed-Use Area (see Figure 7-59). The standards for this area are listed in the Office and Professional, Public Facilities categories and in the Residential Multi-Family category.

LOS OSOS URBAN AREA: OFFICE AND PROFESSIONAL CATEGORY

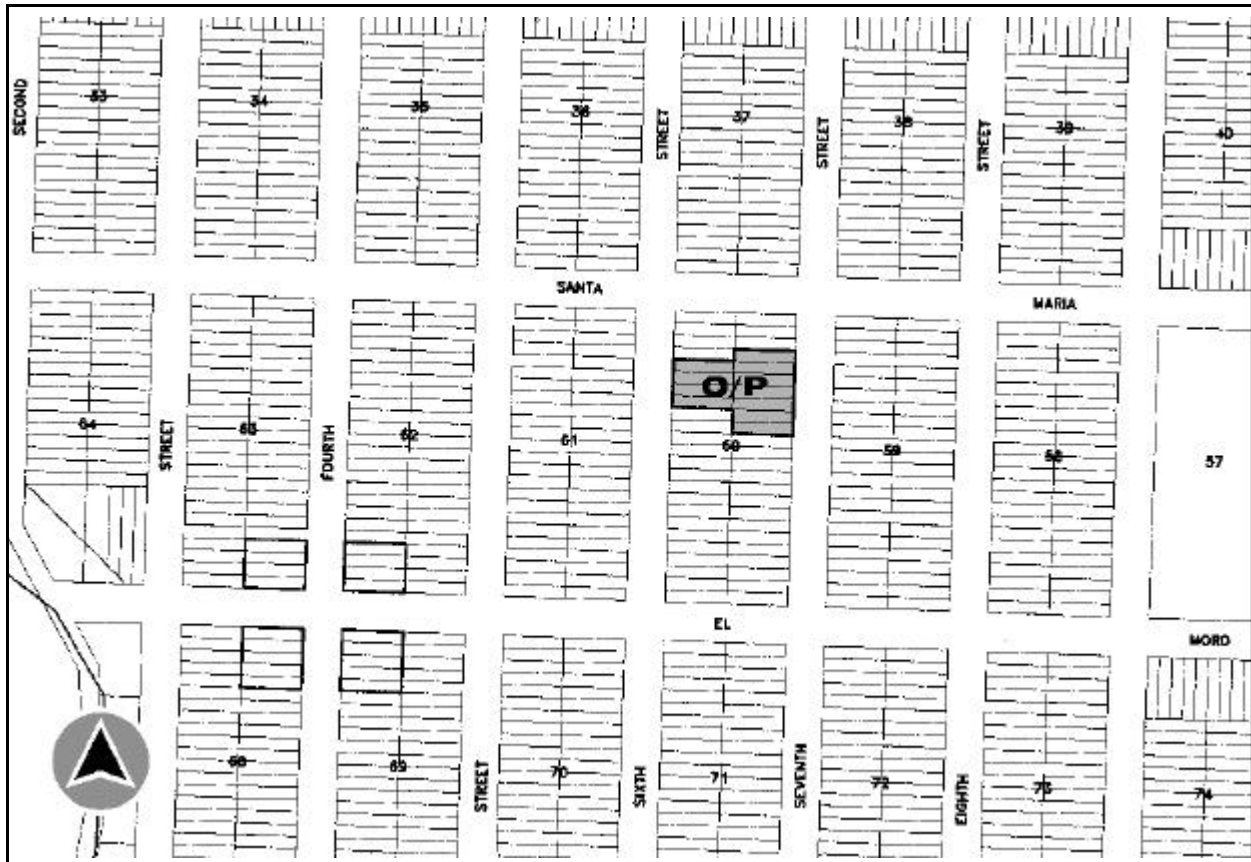


Figure 7-53: O/P Category on West Side of 7th Street Between El Moro and Santa Maria Avenues

OFFICE AND PROFESSIONAL, PUBLIC FACILITIES: The following standards apply only to lands within the Office and Professional, Public Facilities land use categories.

The following standards apply only to the Office and Professional, Public Facilities categories as shown in Figure 7-59.

A. ~~1.~~ Limitation on Use.

1. ~~a.~~ Allowable Uses if Site Acquired for Public Facility Use. The following uses shall be allowed ~~able~~ only in the event that the site is acquired by a public agency or special district and committed to public wastewater treatment facility uses: outdoor sports and recreation; passive recreation; public assembly and entertainment; temporary events; water wells and impoundments; outdoor retail sales; offices; pipelines and transmission lines; and public utility facilities.

2. ~~b.~~ Allowable Uses if Site Not Acquired for Public Facility Use. If the site is not acquired by a public agency or special district and committed to public facility uses, allowable uses shall be limited to all uses allowable in the Office and Professional land use category per Table O, *Framework for Planning, Coastal Zone*.

B. ~~2.~~ Public Utility Facility Standards. Public Utility Facilities uses shall be subject to the special use standards for those uses in Chapter 23.08 of the Coastal Zone Land Use Ordinance as if they were shown as "S-13" uses in Table O, *Framework for Planning, Coastal Zone*.

C. ~~3.~~ Environmental Mitigation. The land use/coastal development permit for development of a wastewater treatment plant and related facilities shall require implementation of the mitigation measures as described in preceding standard ~~No. 3 C~~, Environmental Mitigation, for the Commercial Retail, Public Facilities land use category.

OPEN SPACE: The following standards apply only to lands within the Open Space land use category.

A. Sweet Springs Preserve. The following standard applies to the Sweet Springs preserve located in the Sweet Springs area as shown in Figure 7-36.

- 1. Limitation on Use – Sweet Springs.** The following area Allowable uses are limited to coastal accessways and passive recreation. ~~natural history museums, hotels/motels, residential single family, residential multiple family, caretaker's residence. (Whitehole)~~

~~Los Osos Oak Shores Preserves~~

- ~~**1. State Park Improvements.** The State shall provide safer parking opportunities along Los Osos Valley Road. The widening of Los Osos Valley Road will require identification of new parking areas. Other improvements to this area should be limited to day use provisions.~~

PUBLIC FACILITIES: The following standards apply only to lands within the Public Facilities land use category.

A. Broderson Site. The following standard applies to the approximately 40-acre area south of Highland Drive and west of an extension of Broderson Avenue, identified as Area B in Figure 7-64.

- 1. Limitation on Use.** Allowable uses shall be limited to passive recreation and public utility facilities.

B. Baywood Park Area West of 3rd Street–LOCSD Property. The following standard applies to the Los Osos Community Services District property in the Baywood Park Area West of 3rd Street, as shown in Figure 7-55.

- 1. Limitation on Site Disturbance.** New development shall be limited to the area of disturbance of the existing well site.

RECREATION: The following standards apply only to lands within the recreation land use category.

- A. Cuesta Inlet.** The following standard applies within the Cuesta Inlet area as shown in Figure 7-36. ~~(This is a visitor-serving priority area)~~
1. **Limitation on Use—~~Cuesta by the Sea~~.** Allowable uses shall be limited to passive recreation (including a boat launching ramp and parking areas); and single-family dwellings or mobilehomes (see Combining Designation standard A, Coastal Access and Recreation, #1). ~~(limited to a single family residence sited consistent with resource protection and public access requirements).~~
 2. **Density.** The maximum development potential shall be one dwelling unit. Development shall be concentrated or clustered in accordance with Section IIIA of the Areawide Standards.
 3. **Public Access.** Maximum public access shall be provided to the shoreline in this visitor-serving priority area, consistent with the intent of the Circulation Element maps (see Chapter 5), and consistent with protection of sensitive habitat.
 4. **Application Contents.** All applications for development shall document the location of state tidelands in relation to this site and resolve questions about ownership of this property.

NOTE: ~~THE SWEET SPRINGS AREA HAS BEEN "WHITEHOLED" BY ACTION OF THE COASTAL COMMISSION AND THE COUNTY. THIS MEANS THAT THE DEVELOPMENT STANDARDS ARE HELD IN ABEYANCE UNTIL THE COUNTY SUBMITS REVISIONS TO THE LOCAL COASTAL PLAN. THE STANDARDS IN EFFECT FOR THIS AREA ARE CONTAINED IN THE LAND USE ELEMENT OF THE COUNTY GENERAL PLAN (SEE APPENDIX A FOLLOWING THIS PLAN).~~

2. **Limitation of Use - Sweet Springs. MOVED TO PRECEDING OPEN SPACE CATEGORY STANDARD**
3. **Height Limitation - Sweet Springs. MOVED TO RESIDENTIAL SINGLE-FAMILY CATEGORY STANDARDS**

4. Site Selection - North of Ramona Ave. MOVED TO RESIDENTIAL SINGLE-FAMILY CATEGORY STANDARDS

~~5. **Dedication of Wetland - Sweet Springs.** The wetland portion of the site as determined by the detailed biological review of the site, shall be offered for dedication to the State Department of Fish and Game as a condition of development of the portion of the property north of Ramona Avenue. (Whitehole)~~

~~6. **Limitation of Use - Corr Scenic Easement Area.** Allowable uses following removal of the easement shall be limited to caretaker's residence; coastal accessways; single family dwellings; multi-family dwellings; residential accessory structures; and passive recreation (hiking trails and nature study).~~

B. Sweet Springs. The following standards apply to the eastern portion of the Sweet Springs area as shown in Figure 7-55.

1. Limitation on Use. Allowable uses are limited to coastal accessways and passive recreation only.

2. Transfer of Density. All residential development shall be located on the portion of this parcel that is included in the Residential Single Family land use category (West of 4th Street; see Figure 7-55). A maximum residential density of 1 dwelling unit per acre may be transferred to that portion of the parcel from the portion in the Recreation category. The portion of this parcel that is included in the Recreation land use category shall be permanently protected as open space.

C. Baywood Park Area West of 3rd Street. The following standards apply to the bayfront area between Pismo and El Moro Avenues (see Figure 7-55).

~~1. 8. **Limitation on of Use - West of Third Street.** For the bayfront area between Pismo and El Morro Avenues, Allowable uses are limited to one single family dwelling or mobilehome per legal parcel; residential accessory structures; coastal accessways; and passive recreation (hiking and nature trails and nature study).~~

2. Land Divisions Prohibited. No further land divisions are allowed due to environmentally sensitive habitats and lack of appropriate building sites on these bayfront properties.

D. Golf Course North of Howard Avenue. The following standard applies to the existing golf course north of Howard Avenue in the northern portion of the West of Pecho area as shown in Figure 7-54:

- 1. 7. ~~Golf Course~~ Limitation on Use.** ~~Allowable uses~~ The recreation designation of the golf course at Butte Drive and Howard Avenue shall be limited to coastal accessways; water wells and impoundments; and the ~~existing~~ present uses on the site: golf course, with eating and drinking places (restaurant) ,and or hotel and motels (lodging facilities).

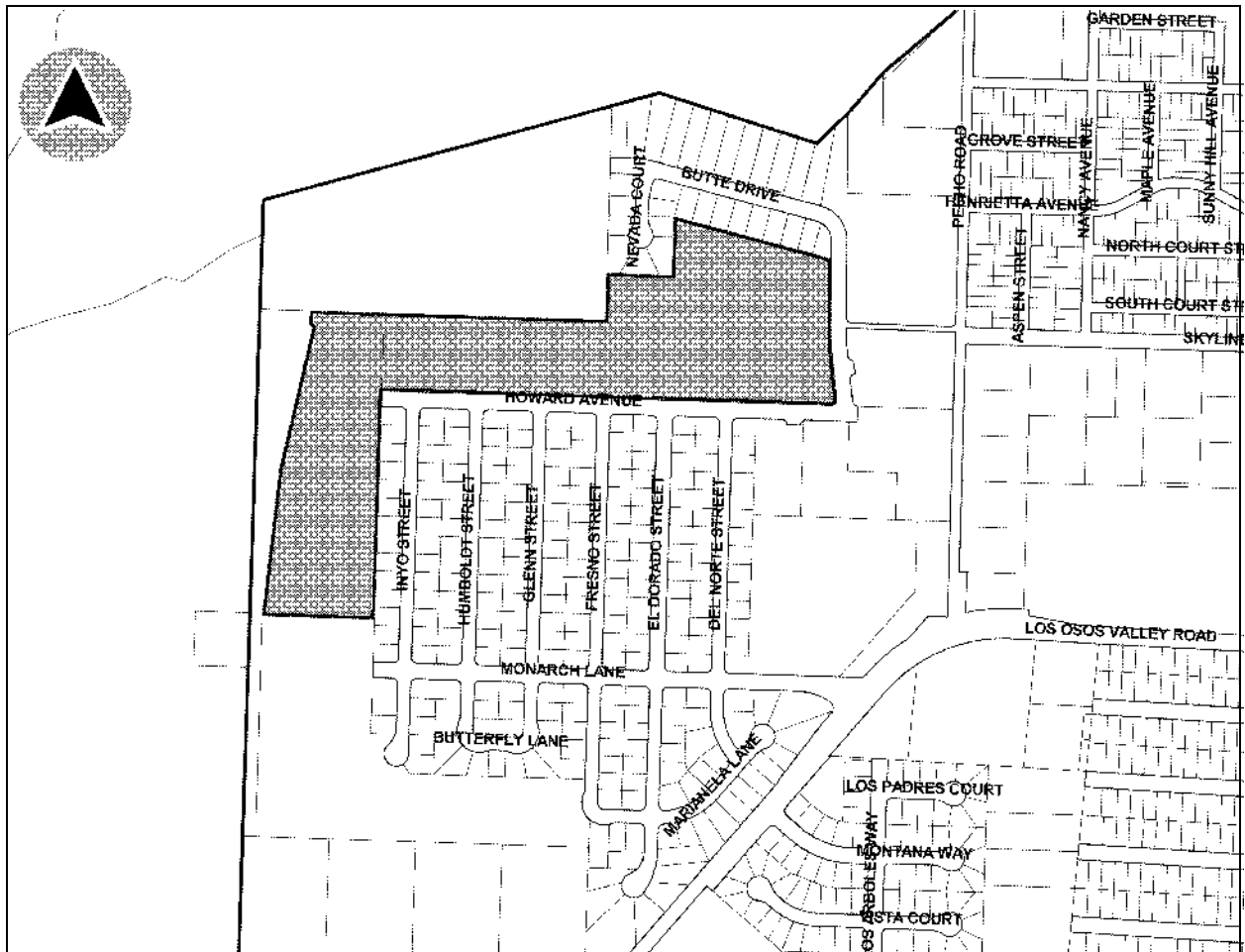


Figure 7-54: Golf Course North of Howard Avenue

LOS OSOS URBAN AREA: RECREATION CATEGORY

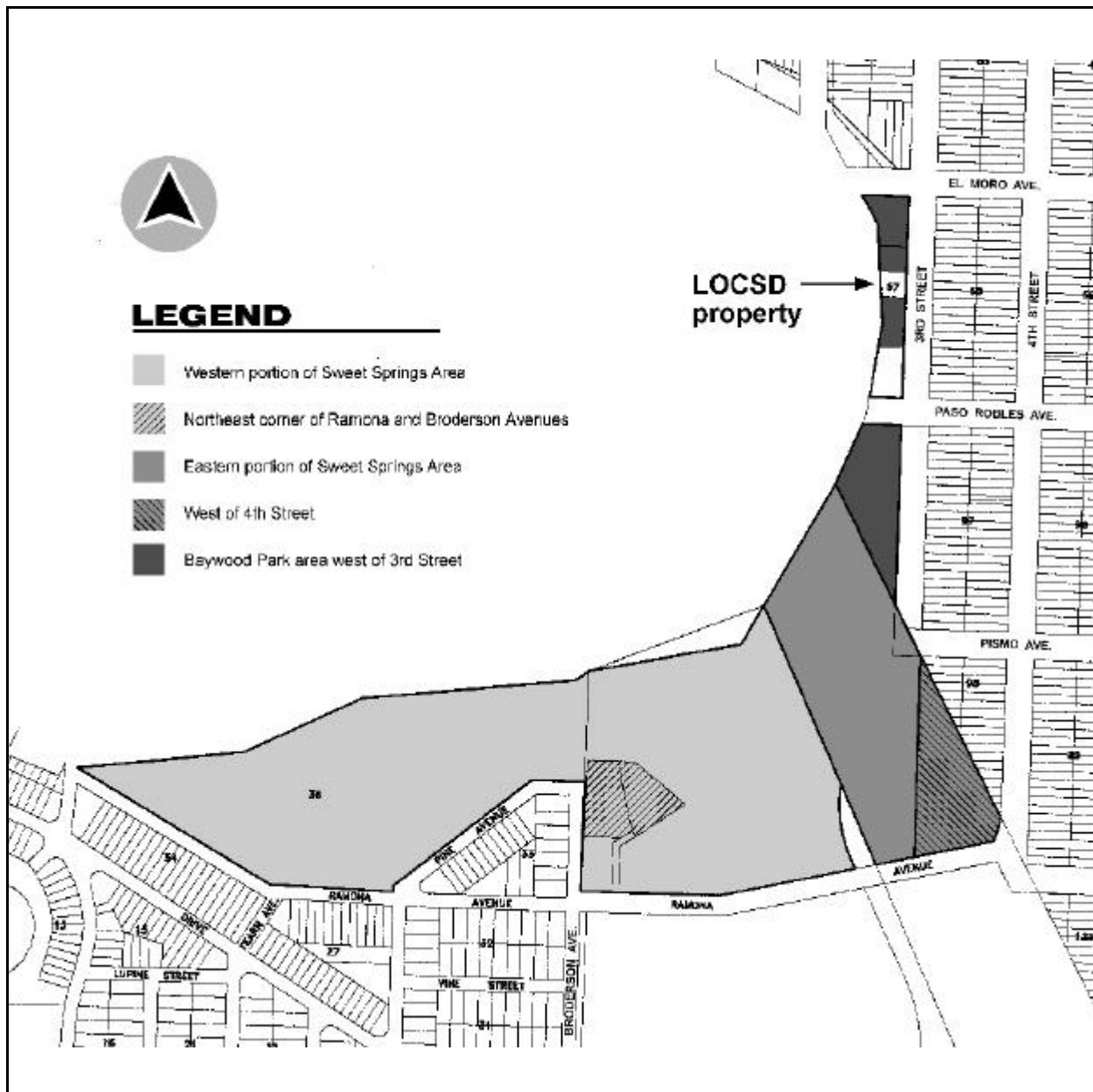


Figure 7-55: Sweet Springs Area; Baywood Park Area West of 3rd Street

E. Portion of Tract 1646 West of Pecho Road. The following standards apply to the approximately 2.7-acre area located at the southwest corner of Pecho Road and Skyline Drive, as shown in Figure 7-56.

- 1. Limitation on Use.** Allowable uses are limited to those that are allowable only in both the Residential Single Family and Recreation land use categories per Table O, Coastal Framework for Planning, except that bed and breakfast facilities and hotels, motels are also allowable.
- 2. Lodging Design and Height Limitation.** All buildings shall be residential in scale and shall have a maximum height of 28 feet.

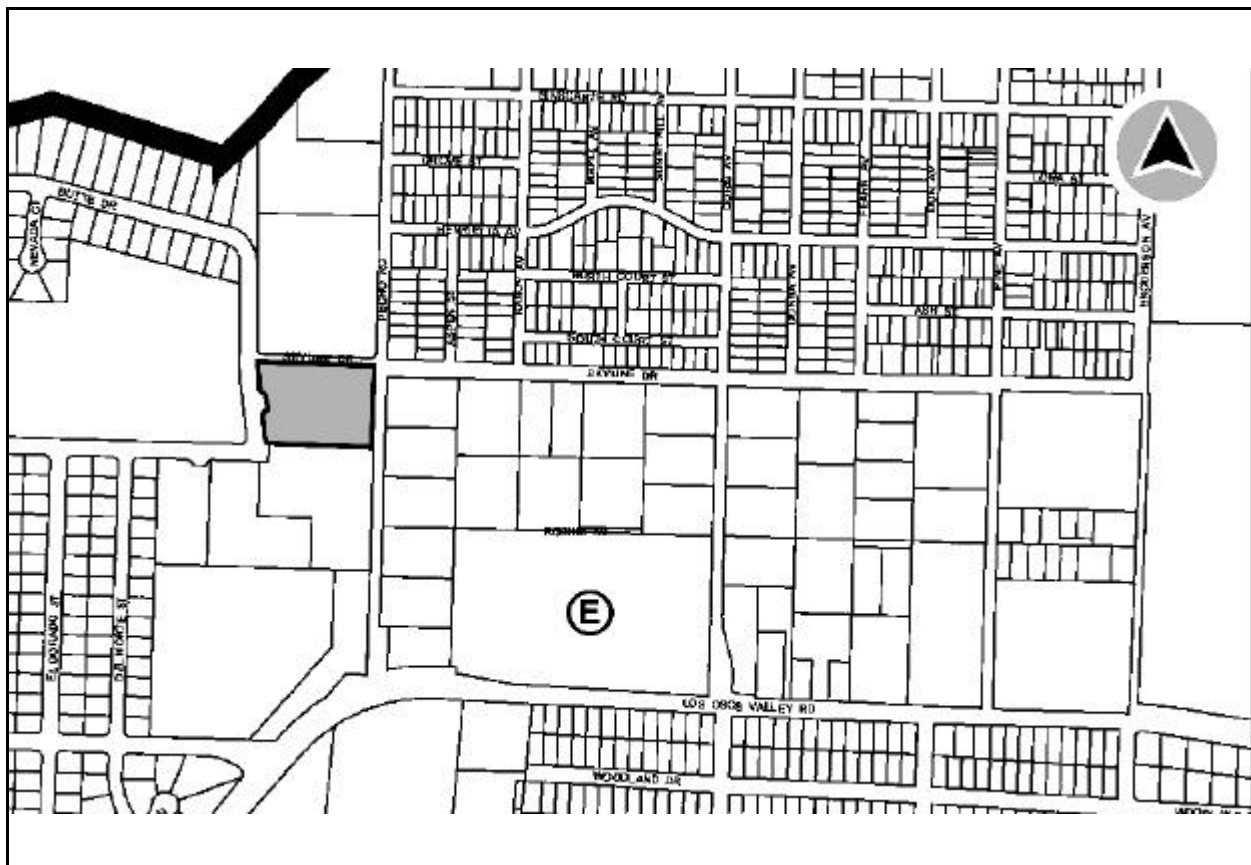


Figure 7-56: 2.7-acre Area at Southwest Corner of Pecho Road and Skyline Drive

F. Santa Ysabel Avenue Coastal Access. The following standard applies to the county-managed coastal access at the westerly terminus of Santa Ysabel Avenue, west of Pasadena Drive, as shown in Figure 7-57.

- 1. Limitation on Use.** Allowable uses are limited to coastal accessways and passive recreation.

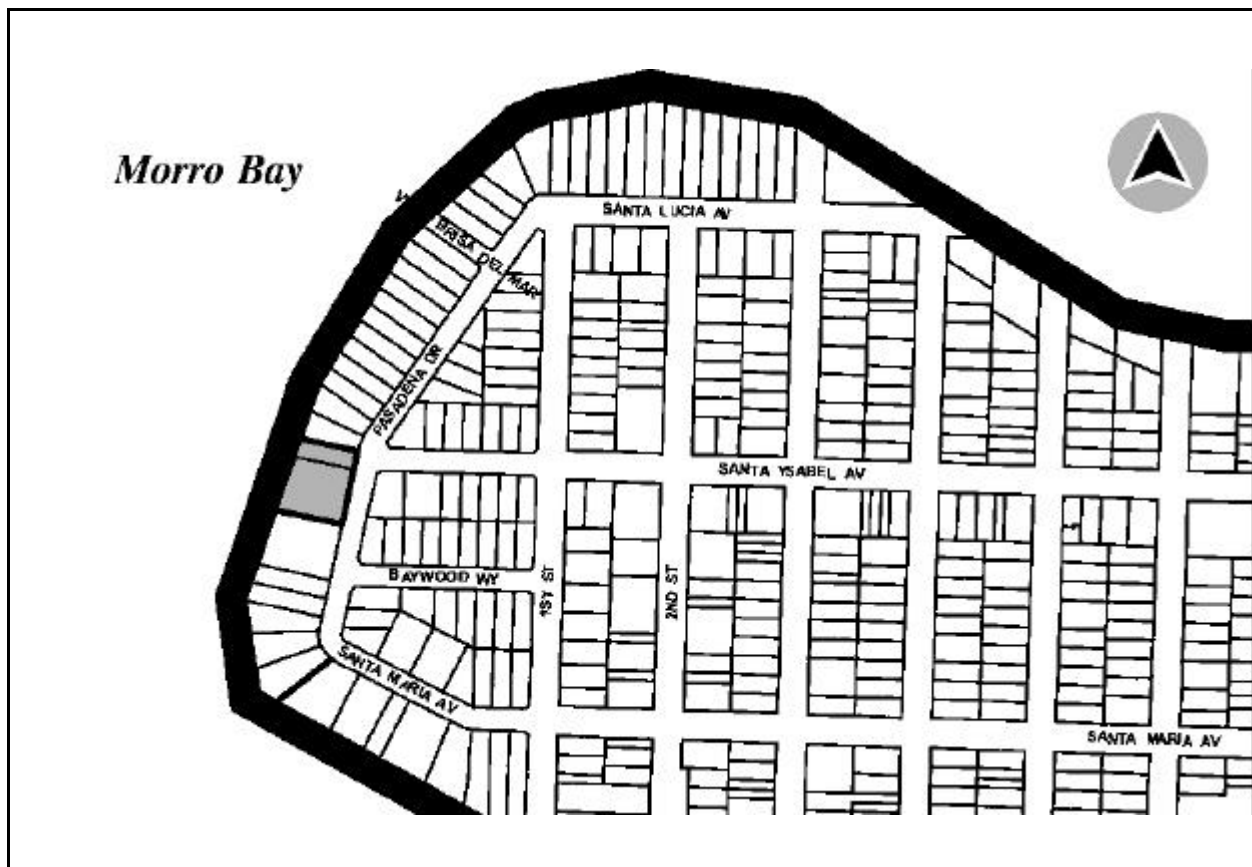


Figure 7-57: Santa Ysabel Avenue Coastal Access

G. West of Pecho--Western Fringe. The following standards apply to the western fringe of the West of Pecho area as shown in Figures 7-36 and 7-62:

~~**Morro Bay & Land Co.** Standards 9, 10, and 11 apply to Morro Bay & Land Co. (APN 74-022-61)~~

- 1. 9. Limitation on Use.** Allowable uses are limited to ~~single family dwellings and~~ coastal accessways; passive recreation; water wells and impoundments; hotels, ~~motels~~ (lodge), including an accessory restaurant and gift shop.; pipelines and transmission lines.
- 2. 10. Clustered Development Requirements.** All ~~development uses shall require Development Plan review and shall meet the following requirements. Uses shall be clustered or concentrated in accordance with Section IIIA of the Areawide Standards. Notwithstanding those standards, there shall be no more than 8 acres of site disturbance, with the undeveloped area of the site to be permanently protected as open space. on or adjoining the 17-acre contiguous ownership, with 60% of the holding retained in open space. Residential density may be transferred to the adjoining 17-acre property (APN 74-024-11).~~ **Site selection** shall be based upon a visual study and a biological evaluation of the sites ~~that recommends and determination of the need for preservation of areas of greatest sensitivity.~~
- 3. 11. Development Intensity Density.** The maximum number of lodging units shall be 100, no more than 20 of which may be developed as a condominium or Planned Development project in accordance with Chapter 23.08 in the Coastal Zone Land Use Ordinance. Residential density shall not exceed one dwelling unit per acre, with ~~The actual number of units shall density to be determined based upon a visual study and a when the biological evaluation of the site. studies have been completed. This density shall be computed on the basis of the portion of the site proposed for non-visitor-serving use. Density of the lodge shall not exceed 12 units per acre of the portion determined appropriate for lodge development. This area for visitor-serving development shall not exceed 8 acres.~~
- 4. Site Design.** Development shall be designed to adapt to the natural terrain, while minimizing grading and alteration of natural topography and vegetation.
- 5. Building Design.** Buildings shall be of a residential scale, with low profiles and heights that are limited in accordance with the recommendations of a visual study so that views from Pecho Valley Road and other public vista points are protected.
- 6. Coastal Access.** Coastal access shall be directed to existing disturbed areas that are appropriate for access. Signs shall be provided in accordance with Chapter 23.04 of the Coastal Zone Land Use Ordinance.

RESIDENTIAL RURAL: The following standards apply only to lands within the Residential Rural land use category.

~~NOTE: THE OTTO PROPERTY HAS BEEN "WHITEHOLED" BY ACTION OF THE COASTAL COMMISSION AND THE COUNTY. THIS MEANS THAT THE DEVELOPMENT STANDARDS FOR THIS AREA HAVE BEEN HELD IN ABEYANCE UNTIL THE COUNTY SUBMITS REVISIONS TO THE LOCAL COASTAL PLAN. THE STANDARDS IN EFFECT FOR THIS AREA ARE CONTAINED IN THE LAND USE ELEMENT OF THE COUNTY GENERAL PLAN (SEE APPENDIX A FOLLOWING THIS PLAN).~~

~~1. **Resubdivision Required - Otto Property.** Development of the area of existing subdivided lots included within the Residential Rural land use category is to occur only after resubdivision and clustering of the development adjacent to existing residential development, with the remainder of the site retained in its natural state. (Whitehole)~~

A. Creekside Area. The following standards apply to the Creekside Area as shown in Figure 7-36:

1. Clustered Development. Minimize site disturbance and concentrate or cluster development in accordance with Section IIIA of the Areawide Standards. This is intended to protect riparian and wetland habitat; rare, endangered or threatened species--such as the Morro Bay Kangaroo Rat and the Morro Shoulderband snail--and their habitat as described in Section IIIA of the Areawide Standards; the Morro Bay estuary; and other sensitive features described in Section IIIA of the Areawide Standards.

2. Setbacks. New development shall be set back at least 100 feet from the following sensitive features: wetland vegetation, the upland extent of riparian vegetation, and areas of habitat that support rare, endangered or threatened species as defined in Section IIIA of the Areawide Standards.

~~2. **Powell Property - Specific Plan Requirements.** The Powell property (located between the Junior High School to the west and Los Osos Creek to the east) shall be developed in accordance with a specific plan which meets the following requirements:~~

~~a. A habitat study and species analysis (e.g., the Morro Bay Kangaroo Rat) of the site shall be performed by a qualified biologist. The biologist shall be jointly selected by the property owner, the county, and the Department of Fish and Game. The study shall determine the biological sensitivity of the site focusing on the Morro Bay Kangaroo Rat; the extent of the environmentally sensitive habitat area~~

~~and its relative importance to other sensitive habitat areas adjacent to and nearby the property (e.g., the Morro Bay estuary, Los Osos Creek and other areas where the Morro Bay Kangaroo Rat is known to or possibly could exist). The study shall make recommendations necessary to protect the environmentally sensitive habitat area from the effects of the potential development. Such recommendation shall include the following:~~

- ~~_____ identification of all sensitive habitat areas but focusing on the Morro Bay Kangaroo Rat that shall not be disturbed by development;~~
- ~~_____ buffer zones of at least 100 feet to protect sensitive areas from the uses allowed on the site;~~
- ~~_____ determination of appropriate times of year for construction in order to minimize disturbance to the Morro Bay Kangaroo Rat and its habitat area;~~
- ~~_____ if consistent with the recommendations and evaluation of the biological study, the residential development shall be clustered at the southern portion of the property, with access provided from Sage Avenue.~~
- ~~_____ **b.** The maximum amount of development (intensity, type and location) allowed for the site shall be dependent upon the findings of the biological study conducted on the site, but shall not exceed the maximum density allowed under the land use designation.~~
- ~~_____ **c.** Prior to the approval of the Specific Plan and based upon competent technical analysis, it shall be found that any on-site engineered waste disposal system including systems for the purpose of accommodating water generated from impervious surfaces, (roofs, roads, or driveways, etc.), will not significantly disturb habitat areas or groundwater resources. Additionally, as a condition of approval of the Specific Plan, the dedication of an open space conservation easement over the identified Morro Bay Kangaroo Rat habitat area shall be required to provide protection for these areas.~~

RESIDENTIAL MULTI-FAMILY: The following standards apply only to lands within the Residential Multi-Family land use category.

Refer also to the communitywide standards in this section, and Section III, Areawide Standards, for additional development and design standards.

A. ~~1.~~ Residential Density--New Projects

- 1. ~~a.~~ Maximum residential Density for New Projects.** Except for senior citizen housing (see the following standard), maximum density shall be ~~is~~ 15 dwelling units per acre on properties less than one acre; and 26 units per acre on properties of one acre or more.
- 2. Minimum Density.** In all Residential Multi-Family categories, except in the Morro Shores and West of Pecho areas as shown in Figure 7-36, if physically feasible and if environmental impacts can be mitigated, the *minimum* overall density on parcels of 10,000 square feet and larger shall be 10 dwelling units per acre. Refer to the following Morro Shores Area standards for minimum densities in that area.

- B. ~~2.~~ Height Limitation.** Maximum height shall be 28 feet except for bayfront areas (see Figures 7-39 and 40 ~~8-4 and 8-5~~).

- C. Senior Citizen Housing.** Senior citizen developments are subject to the following. Senior citizen housing consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over; or b) residential development consisting of at least 35 dwellings specifically designed to meet the physical and social needs of persons aged 55 and over. In the Residential Multi Family land use category, senior citizen housing includes accommodations for independent living and/or assisted living.

- 1. Residential Density.** Within a 0.5-mile radius (straight-line distance) of the central business district, the maximum residential density shall be 38 dwelling units per acre.
- 2. Floor and Open Area.** The land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project. There is no maximum floor area limitation; however, in no case shall the minimum open area fall below 40 percent, as defined in Chapter 23.04 of the Coastal Zone Land Use Ordinance.

- 3. Parking, Design.** Parking and design shall comply with the standards for senior citizen housing listed in the Commercial Retail land use category for the central business district.
- D. Northwest Corner of Mountain View Drive and Santa Ynez Avenue.** The following standard applies only to the approximately three-acre parcel located at the northwest corner of Mountain View Drive and Santa Ynez Avenue, as shown in Figure 7-58.
- 1. Residential Development Potential.** A maximum of one dwelling unit is allowable on this parcel in accordance with a deed restriction that so limits the amount of residential development.

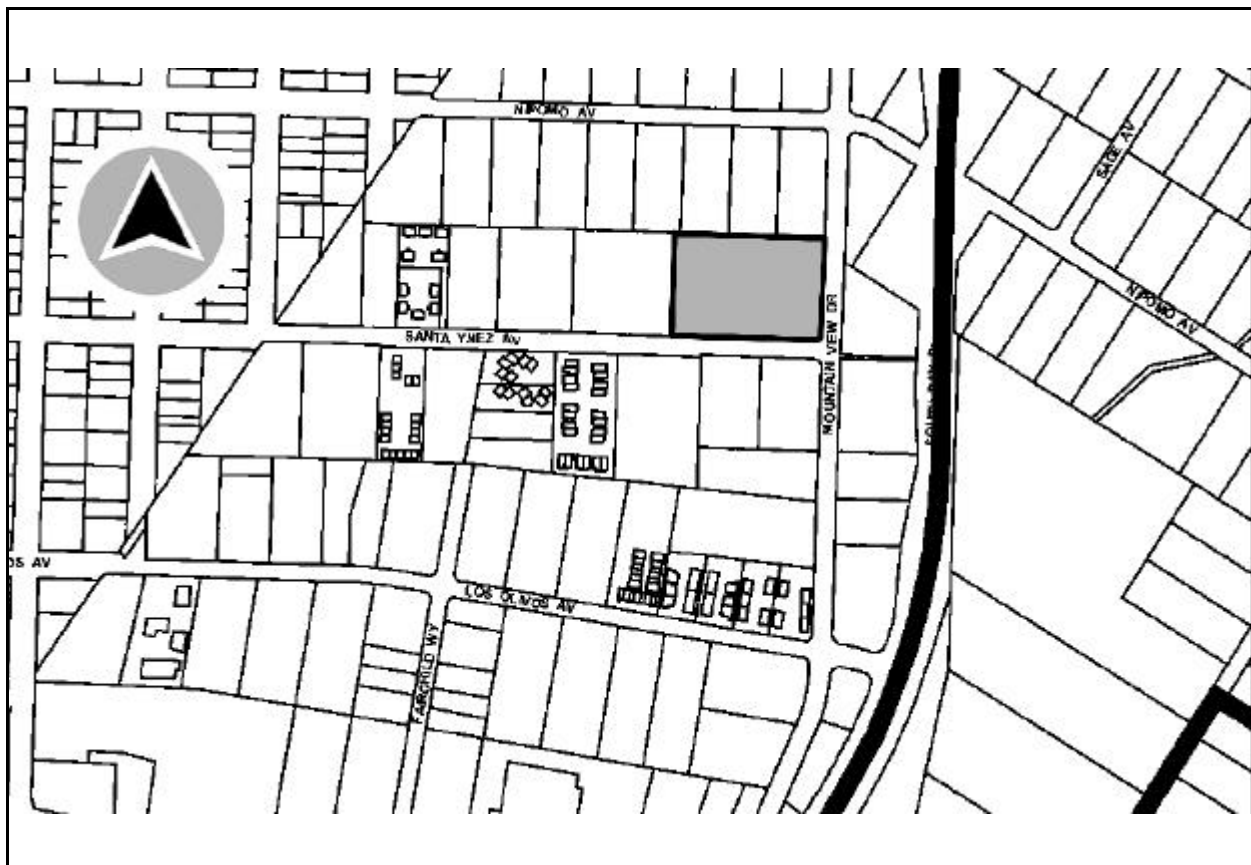


Figure 7-58: Parcel at the Northwest Corner of Mountain View Drive and Santa Ynez Avenue

E. Morro Shores Mixed-Use Area (RMF,RSF,CR,CS) Palisades. The following standards ~~3 through 5~~ apply only to the Morro Shores Mixed-Use Palisades Area (see Figure ~~7-59~~ ~~8-2~~).

- 1. Height.** The maximum building height for residential, transient lodgings, and accessory uses shall be 28 feet.
- 2. Specific Plan Required.** Prior to or concurrent with approval of land divisions or development, approval of a specific plan in accordance with the Section 65450 of the California Government Code is required for the entire Mixed Use Area, except as provided in the following standard. The specific plan shall be prepared under the guidance of the county upon application and funding by the property owner(s).
- 3. Exceptions to Specific Plan Requirement.** (refer to Figure 7-59 for property locations).
 - a.** **Western Portion of Tract 1643 (Area 1).** Single family residential development within Area 1 of Tract 1643 as shown in Figure 7-59 is allowable; pursuant to that map in the event that Tentative Tract 1643 is recorded as a final map, the approved tract, prior to approval of a specific plan for the Morro Shores Mixed Use Area.
 - b.** 8.8-Acre Property Fronting on Ramona Avenue (Area 2), and 2.5-acre Property East of Palisades Avenue (Area 3). These properties are not required to be a part of a specific plan for the Morro Shores Mixed Use Area; however, proposed land use and circulation on these properties shall be coordinated with a proposed or approved specific plan to the maximum extent feasible.
- 4. c.** **Separate Ownerships.** If it is infeasible for different owners to cooperate to prepare a single, overall specific plan, separate specific plans may be submitted for each ownership, provided that land use and circulation shall be coordinated among the different ownerships to the maximum extent feasible and that each specific plan shall meet the content, intent and other requirements of the following paragraphs 5 through 11.
- 5. d.** **Wastewater Treatment.** Development of a community wastewater treatment facility and associated uses by a special district or other government agency is not required to be part of a specific plan for the Morro Shores Mixed-Use Area.
- 6. e.** **Allowable Uses Prior to Specific Plan.** The following uses are allowable prior to approval of a specific plan for the Morro Shores Mixed Use Area, subject to the applicable requirements of this plan and the Coastal Zone Land Use Ordinance.

[RENUMBER THE FOLLOWING SUBSECTIONS ACCORDINGLY]

LOS OSOS URBAN AREA: MORRO SHORES MIXED USE AREA

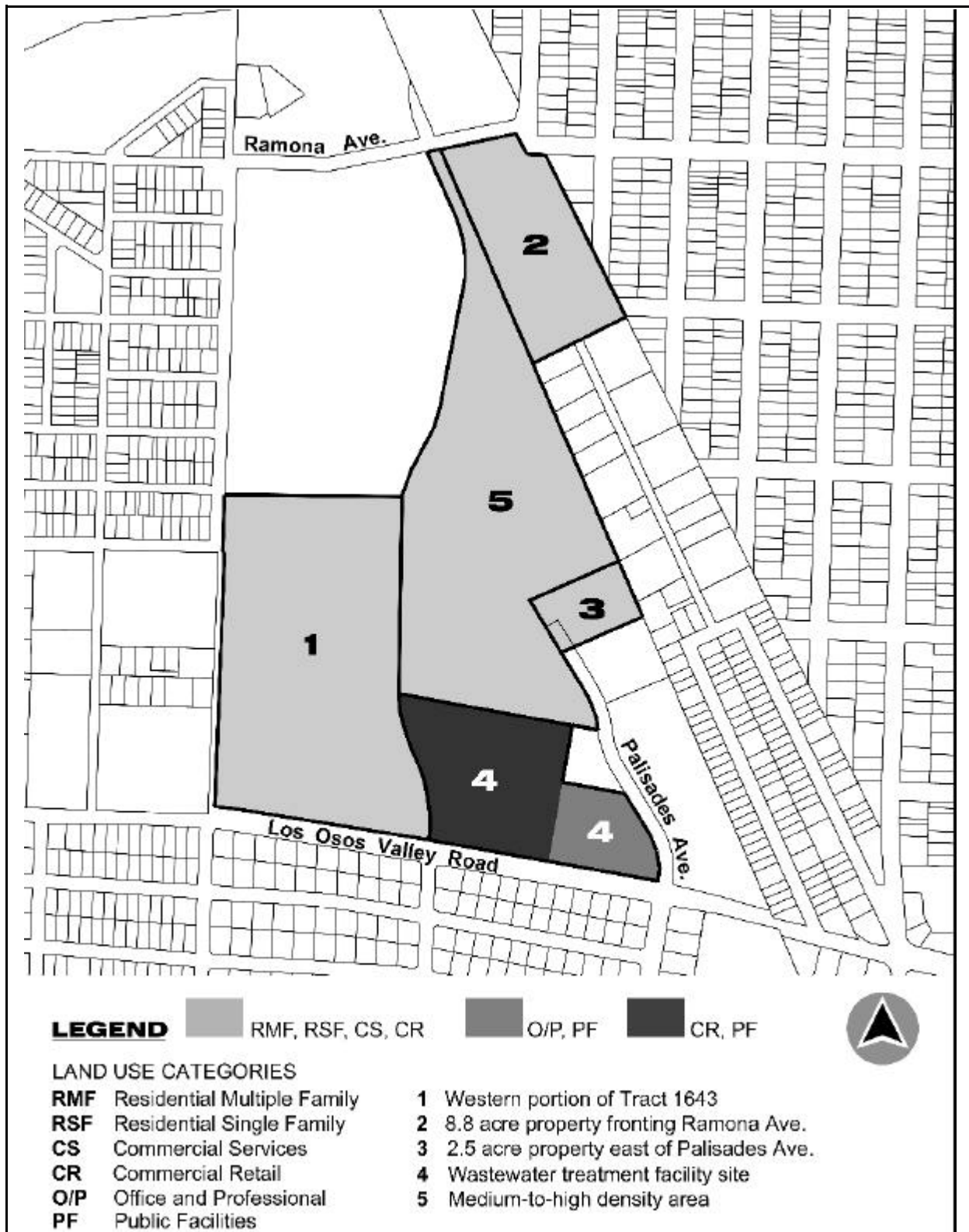


Figure 7-59: Morro Shores Mixed-Use Area

- (1) Animal Raising and Keeping.
- (2) Crop Production and Grazing.
- (3) Outdoor Sports and Recreation (limited to playlots, playgrounds and non-professional athletic fields).
- (4) Passive Recreation.
- (5) Temporary Events (only within 600 feet of Los Osos Valley Road).
- (6) One Single Family Dwelling, Mobilehome or Temporary Dwelling per legal parcel.
- (7) Residential Accessory Uses.
- (8) Water Wells and Impoundments.
- (9) Outdoor Retail Sales (only within 600 feet of Los Osos Valley Road).
- (10) Package treatment plant in accordance with the conditions of Tract 1643

7. **Intent of Specific Plan.** The specific plan shall be an integrated plan for land use and circulation. The plan shall provide for high quality development of compatible land uses, such as a multi-use business park that offers opportunities for employment, and residential uses that provide opportunities for affordable and senior housing.

8. **Specific Plan: General Contents.** The specific plan shall include the following:

- (1) All residential development shall be part of a Planned Development and comply with all applicable standards in the Coastal Zone Land Use Ordinance for such projects
- (2) Locations, densities and intensities of development
- (3) Locations of open space and recreation areas
- (4) Measures to avoid and mitigate adverse impacts with regard to sensitive habitat, endangered and other sensitive species, geologic hazards, cultural resources, and drainage, including the location of any proposed drainage basins
- (5) Other development requirements
- (6) Alignments of major streets and other transportation routes in accordance with the Circulation Element, including connections to the surrounding community for vehicles, bicyclists, and pedestrians
- (7) A phasing plan if development is to occur in multiple phases

9. **Specific Plan: Development Requirements.** Development shall be clustered or concentrated to avoid cultural resources and environmentally sensitive habitat as defined in Section IIIA of the Areawide standards. In addition, development shall provide a permanently protected habitat corridor that extends from the southern part of the site to Ramona Ave. This corridor shall be designed so that future connections could be made to Los Osos Valley Road and through Area 1 (see Figure 7-59) to Broderson Ave. All uses shall be compatible with surrounding residential areas. The following uses are allowable.

a. Medium-to-High Density Residential.

- (1) Development Potential.** Up to 200 (250 with a senior citizen housing bonus) medium-to-high density residential units are encouraged within Area 5 (see Figure 7-59) if physically feasible and if environmental impacts can be mitigated.
- (2) Development Type.** All development shall be part of a Planned Development and comply with all applicable standards in the Coastal Zone Land Use Ordinance for such projects. A variety of development types are encouraged: single family, multi-family, attached, detached, or zero lot-line units. Creative lot designs are also encouraged, such as "Z" lots, courtyard lots, and others.
- (3) Densities.** If physically feasible and if environmental impacts can be mitigated, the *minimum* density shall be 10 dwelling units per acre within the development area, and the maximum density within the development area shall be 26 dwelling units per acre.
- (4) Senior Citizen Housing.**
 - i. Incentive.** Senior citizen housing as defined in preceding Section C is encouraged, but not required. If at least 100 senior housing units are provided, a bonus of 50 additional medium-to-high density residential units (up to a maximum total of 250 units) shall be granted if physically feasible and if environmental impacts can be mitigated.
 - ii. Density.** The maximum density of senior citizen housing shall be 38 dwelling units per acre within the development area.
 - iii. Other Development Standards.** Development shall comply with the floor and open area, parking, and design standards listed in preceding Section C.

- b. Multi-Use Business Park.** A multi-use business park that is characterized by high quality architecture and design is encouraged. The business park shall not occupy more than 51.5 acres, and shall be planned as an integrated, multi-use, employment-generating business park that complies with the following criteria.
- (1) Character.** The multi-use business park shall have landscaped open spaces in a campus-like character that provides an attractive environment

and respects the natural environment. It shall be compatible with and an asset to surrounding neighborhoods and the community.

- (2) **Allowable Uses.** The business park shall include some or all of the following uses:

- ! Offices
- ! Non-polluting, light manufacturing and assembly, especially research and development and high-technology
- ! Supporting warehousing and distribution
- ! Supporting retail, service and recreational uses

- (3) **Encouraged Uses and Features.** The following uses and features are encouraged:

- ! “Business incubators” (an organization of various services that helps young businesses get started until they can survive on their own)
- ! Employee amenities such as child day care, health club
- ! Allowable uses from the following industry clusters:
 - Agricultural services, biotechnology, food processing
 - Environmental technology
 - Tele-communications and high-technology entertainment
 - Information processing and computer services
 - Development services (contractors, engineering, finance, real estate)
- ! Non-polluting manufacturing of surgical, medical, and dental instruments and supplies

- (4) **Enclosure and Orientation of Manufacturing and Assembly Operations.** Manufacturing and assembly operations shall occur entirely within enclosed buildings. Work bays shall be oriented away from residential categories, and unless screened, away from collector and arterial streets.

- (5) **Streets and Circulation.** The business park shall include a system of pedestrian/bicycle paths that connect to parking areas, buildings, open space, recreation area(s), transit, and where feasible, adjacent neighborhoods and public facilities.

- (6) **Drainage.** Where feasible, drainage shall be conveyed in above-ground, naturalized channels and basins that serve as attractive, open space/recreational features.

- (7) **Open space.** Open space and recreation area(s) shall be provided for use by employees. Public use of open space is encouraged.
- (8) **Parking Lot Design.** Large parking lots should be avoided by providing smaller lots separated by landscaping or structures.
- (9) **Height.** Maximum building height shall be 35 feet.
- (10) **Other Criteria.** Criteria shall be developed that address the following:
 - i. Lot sizes and dimensions.
 - ii. Location design, and screening of service areas and truck loading and unloading areas, especially adjacent to residential categories; hours when truck loading and unloading is permitted.
 - iii. Setbacks/buffers from residential categories and streets.
 - iv. Building heights that are compatible with the community.
 - v. Screening of: outdoor storage; waste disposal; and mechanical, electrical and other equipment.
 - vi. High quality building design, and flexible designs conducive to a variety of tenants.
 - vii. Minimum and maximum parking ratios.
 - viii. A coordinated landscaping, screening and fencing program, including a required percentage of landscaped area.
 - ix. Outdoor lighting.
 - x. A sign program with a unifying theme.
 - xi. Public art.
- c. **Neighborhood Commercial.** Up to 3.5 acres are allowable for commercial uses intended to serve the surrounding neighborhood and employees of the adjacent business park.

- d. Future Community Services Center.** Up to 3.5 acres may be planned for a future community services center that could include a community hall, a substantially expanded library, a sheriff's substation, and medical and social services.
- e. Low Density Residential.** Up to 95 low density residential parcels, including any such parcels in the western portion of Tract 1643 (see Figure 7-59), are allowable on up to 30.5 acres.

10. 8.8-Acre Property Fronting on Ramona Avenue (Area 2; see Figure 7-59).

- a. Limitation on Use.** Allowable uses shall be limited to all uses allowable in the Residential Multi-Family category per Coastal Table O, Part I of the Land Use Element; Hotels, Motels; and accessory Eating and Drinking Places.
- b. Residential Density.** The *minimum* overall residential density shall be 8 dwelling units per acre, if physically feasible and if environmental impacts can be mitigated. Maximum residential density shall be 10 dwelling units per acre.
- c. Compatibility.** Non-residential development shall be sited, designed, and landscaped to be compatible with surrounding residential areas. Several smaller buildings are preferred to fewer, more massive ones.

11. 2.5-Acre Property East of Palisades Avenue (Area 3; see Figure 7-59).

- a. Limitation on Use.** Allowable uses shall be limited to all uses allowable in the Residential Multi-Family category per Coastal Table O, Part I of the Land Use Element.
- b. Residential Density.** The *minimum* residential density shall be 8 dwelling units per acre, if physically feasible and if environmental impacts can be mitigated. Maximum residential density shall be 10 dwelling units per acre.

~~3. **Density.** Maximum residential density for new projects northwest of South Bay Community Park is 26 units per acre and for the area north of the proposed extension of Palisades Avenue the maximum density shall be 10 units per acre.~~

~~4. **Attached Units.** Up to 6 dwelling units per building are permitted to be clustered around an open court arrangement.~~

~~5. **Site Coverage.** Maximum site coverage is to be 65%.~~

RESIDENTIAL SINGLE FAMILY: The following standards apply only to lands within the Residential Single Family land use category.

Refer also to the communitywide standards in this section, and Section III, Areawide Standards, for additional development and design standards.

A. ~~1.~~ Height Limitations. Maximum height shall be 28 feet except where other applicable planning area standards establish other specific height limits (see Figures ~~7-39 and 40~~ ~~8-4 and 8-5~~).

B. Bayview Heights Area. ~~The following~~ standards ~~2 through 4~~ apply only to the Bayview Heights area (see Figure ~~7-36~~ ~~8-2~~), ~~in addition to Standard 1 above.~~

1. ~~2.~~ Parcel Size. ~~Minimum parcel sizes for new land divisions shall be~~ ~~New single-family residential lots are to be a minimum of one acre.~~

2. ~~3.~~ Access - New Land Divisions. New lot divisions south of Bayview Heights Drive are to be designed to provide through street access between Bayview Heights Drive and ~~Calle~~ Cordoniz Road.

~~4. Site Planning Criteria.~~ ~~Uses are to be sited for maximum protection of native Oak Shores along Los Osos Valley Road.~~ **ADDRESSED BY COMMUNITYWIDE STANDARD FOR TREE PROTECTION**

~~**Cuesta Area.** Standards 5 through 8 apply only to the Cuesta area (see Figure 8-2), in addition to Standard 1 above.~~

C. Martin Tract. The following standards apply only to the Martin Tract as shown in Figure 7-36.

1. ~~5.~~ Parcel Size. The minimum parcel size for new land divisions ~~in the Martin Tract~~ is ~~one~~ acre, ~~except that the maximum overall density for new land divisions on the parcel at the northeast corner of Pine Avenue and Los Osos Valley Road (see Figure 7-41, Location No. 4a) shall be one residential parcel per to be 10,000 square feet, and residences are to be sited to minimize removal of trees.~~ **TREE REMOVAL ADDRESSED BY COMMUNITYWIDE STANDARD FOR TREE PROTECTION**

2. 6- Access - Los Osos Valley Road. ~~Where alternative access is available, lots fronting on Los Osos Valley Road which have alternate access roads available are~~ **shall** not to use Los Osos Valley Road for access.

3. 7- Access - New Lots Adjacent to Rosina Drive. Proposed lot divisions south of Rosina Drive are to be designed to have cul-de-sac access from Rosina Drive.

D. Cuesta-by-the-Sea. The following standards apply only to Cuesta-by-the-Sea as shown in Figure 7-36.

1. 8- Setbacks. ~~Minimum setbacks for new construction are is to be provided setbacks as follows, except that new construction proposed on bayfront properties is to be set back from the Morro Bay wetlands according to wetland setback requirements in the Communitywide standards, Combining Designations LUE).~~

Front: 15 feet

Side: 3 feet

Corner side: 10 feet

Rear: 10 feet.

E. Sweet Springs Area. The following standards apply only to the Sweet Springs area as shown in Figure 7-36.

1. 4- Northeast Corner of Ramona and Broderson Avenues. ~~Site Selection - North of Ramona Ave.~~ Detailed site selection shall include the following ~~(Whitehole):~~ The following standards apply to the two residential parcels near the northeast corner of Ramona and Broderson Avenues in the Sweet Springs Area (see Figure 7-55). **MOVED FROM RECREATION CATEGORY STANDARDS**

a. Minimum Parcel Size. The minimum parcel size is 20,000 square feet, and the existing parcels shall not be further subdivided.

b. Density. Each parcel may be developed with a maximum of one dwelling unit (no secondary dwellings permitted).

~~**a.** Review by a qualified biologist to determine the extent of the wetland on the site and the extent of buffers necessary to establish a buffer adequate to protect the habitat values of the site.~~

~~**b.** Provisions for public access (see LCP combining designation requirements.)~~

- ~~c. Allowable densities shall be calculated only on the portions of the site that are not wetland habitat.~~
 - c. d. Tree Protection.** Retain Retention of the upland trees to the maximum extent as feasible.
 - ~~e. Archaeological resource protection in accordance with requirements for mitigation in the LCP policy document.~~
 - d. f. Surface water/storm** drainage shall be maintained on-site or directed in such a manner to protect the marsh and wetlands habitat.
- 2. West of 4th Street.** The following standard applies only to the area located west of Fourth Street and north of Ramona Avenue identified as “West of 4th Street” in Figure 7-55 (the remaining portion of this ownership is included in the Recreation category and is addressed in the standards for that category).
- a. Application Content.** Development applications shall include a biological report that delineates required setbacks from wetland vegetation.
 - b. Residential Density.** Maximum residential development potential shall be 14 seven dwelling units, which includes plus one dwelling per acre transferred from the portion of this parcel included in the Recreation land use category in the eastern portion of the Sweet Springs area, as shown in Figure 7-55 (to the extent that such density in the Recreation category is not otherwise transferred through the communitywide TDC program).
- (3) Wetland Protection.** Development shall not be located within wetlands or the wetland setback required by Section 23.07 of the Coastal Zone Land Use Ordinance, and shall not cause adverse impacts to wetland vegetation or the Morro Bay estuary.
- ~~3. Height Limitation - Sweet Springs. Heights shall not exceed 24 feet above average finished grade. (Whitehole)~~ **MOVED FROM RECREATION CATEGORY STANDARDS**
- F. Baywood Park El Moro Area.** The following standards ~~9 and 10~~ apply only to the Baywood Park El Moro area (see Figure ~~7-36 8-2~~), in addition to standard one above.
- 1. 9. Lot Coverage.** Maximum lot coverage permitted on a single 25 foot lot is 60%; lots of 6,000 square feet or more are permitted 40% coverage, excluding patios, driveway, walks, etc.

2. Tract 40 (Small-Scale Neighborhood). In Tract 40, as shown in Figure 7-36, street lights shall not be installed, and shall not be required with new development.

~~**10. Tract 40 - Bayfront.** Front setback adjustment to a maximum of 15 feet (10 feet from the front property line) may be permitted where it can be demonstrated that it would minimize site alteration and minimize coverage of the site beyond the bluff face. (This shall be considered on consent agenda as part of the access requirement).~~

~~**Highland Area.** Standards 11 and 12 apply only to the Highland area (see Figure 8-2), in addition to Standard 1 above.~~

~~**12. Density.** A maximum density of two dwelling units per gross acre is permitted between Highland Avenue and the boundary of the Residential Suburban category to the south. Development shall be concentrated or the allowed number of units at this density shall be clustered.~~

G. Southwestern Hillsides - Cabrillo Estates Highland Area. The following standards ~~13 through 18~~ apply only to Cabrillo Estates (~~Tracts 306, 307 and 310~~ see Figure ~~7-36 8-2~~).

1. 11 Parcel Size. The minimum allowable parcel size for new land divisions is 20,000 square feet, unless a larger size is otherwise required by **Chapter Section 23.04.028** of the Coastal Zone Land Use Ordinance.

2. 13 Architectural Control Committee. No grading or building permit is to be issued until the applicant has filed with the Planning Department certification that the Architectural Control Committee for Cabrillo Estates, as it then exists and functions: 1) has reviewed pertinent plans and specifications and any applicable land use permit and 2) recommends approval or disapproval of such plans and specifications. If the Architectural Control Committee recommends disapproval of the plans and specifications, the certification is to set forth the reasons for such disapproval. The county approval body (as determined by **Chapter Sections 23.02.030 through 23.02.034** of the Coastal Zone Land Use Ordinance) is to review the reasons for disapproval of the plans and specifications by the committee. In the event the committee fails to make its recommendation within thirty (30) days after the plans and specifications have been submitted to it, no recommendations will be required and the proposed plans and specifications shall be deemed to be favorably recommended. The approval body is not bound by any decision of the committee, and may grant permits and approvals under these provisions.

3. 14. Limitation on Use. Uses shall be limited to: single family dwellings; **mobilehomes**; residential accessory uses; temporary dwellings; home occupations; schools-**preschool to through** secondary (limited to day care centers), and water wells and impoundments.

4. 15. Minimum Floor Area. The minimum floor area for a single family dwelling ~~or mobilehome~~, excluding garages, carports, porches, patios and basements, is 1200 square feet.

5. 16. Driveway Construction. Each lot ~~or parcel~~ shall ~~have~~ be equipped with a concrete driveway measuring at least 9 feet in width and at least 3-1/2 inches thick extending from a concrete approach apron, built in accordance with county Standard Improvement Specifications and Drawings, to the garage door. The driveway is to be in place prior to issuance of an occupancy permit for the residence.

6. 17. Setbacks. ~~Minimum Required~~ setbacks are as ~~shown in the following table~~ follows:

Table 7-5, Setbacks--Cabrillo Estates

Setback Location	Minimum Setbacks (feet) for Single Family Dwellings:	Minimum Setbacks (feet) for Detached Residential Accessory Uses:
Front	25	25
Side	5	3
Corner Side	10	10
Rear	20	8

7. 18. Height Limitation. The maximum height of all buildings and structures shall be 15 feet above the highest point of the lot ~~as when~~ measured from the highest point of the roof, and not to exceed 28 feet at all points as measured continuously through the building footprint from existing grade (prior to the proposed development) to the highest point of the roof.

H. Morro Shores Palisades. The following standards ~~19 to 21~~ apply only to the Morro ~~Shores Palisades~~ area (see Figure 7-36 ~~8-2~~).

1. 19. Expansion of Mobilehome Park Use. Expansion of existing mobilehome park development shall incorporate conditions on roofing materials (non-glare) to reduce visibility from upland areas, and landscaping to screen structures and uniform patterns.

20. Retention of Monterey Pines. Retain Monterey pines in all areas where feasible, except the road right-of-way for Ravenna Avenue. This shall include a tree planting program to

LOS OSOS URBAN AREA: RESIDENTIAL SINGLE FAMILY CATEGORY

~~replace trees that are diseased or old.~~ **ADDRESSED BY COMMUNITYWIDE
STANDARD FOR TREE PROTECTION**

I. Morro Shores Mixed-Use Area (RMF, RSF, CR, CS) (see Figure 7-59). The standards for this area are listed in the Residential Multi-Family category.

21. Hillside Area. This area shall be developed as a planned development as follows:

- ~~a. For the Morro Palisades area south of Highland Drive and north of the South Bay Boulevard extension, densities shall be 3-5 dwelling units/acre as permitted in the adopted Development Plan.~~
- ~~b. Site selection shall be such as to preserve significant areas of ecological importance. The upper portion of the viewshed in permanent open space or scenic preserve easements shall be established as appropriate to accomplish this preservation. No development shall extend further into the viewshed than the existing subdivided areas to the west and east.~~
- ~~c. Development of the property will be permitted only where adequate additional service capacities are established and it can be demonstrated that development of the property will not jeopardize resource availability to higher priority proposals.~~
- ~~d. No development shall be permitted on slopes exceeding 30%.~~
- ~~e. The stand of Bishop pines located south of the proposed extension of South Bay Boulevard shall be preserved and the small area of Indian Knob Yerba Santa shall also be maintained as part of the open space.~~

J. West of Pecho Sunset Area: Monarch Grove (Tract 1589). The following standards 22 to 25 apply only to Monarch Grove (Tract 1589) as shown in Figure 7-60 APN No. 74-022-13.

22. Planned Development. The property shall be developed as a Planned Development integrating the residential use with the golf course facility. The maximum density shall not exceed two units per acre.

23. Water Resources. Evidence is to be presented to the county that development at this density will not result in a significantly greater net water usage than present use of water for the golf course facility.

1. Sewage Disposal. Sewage disposal shall be by either: 1) private treatment and disposal facilities that enable reclamation of effluent on the golf course; or 2) connection to the community sewer system.

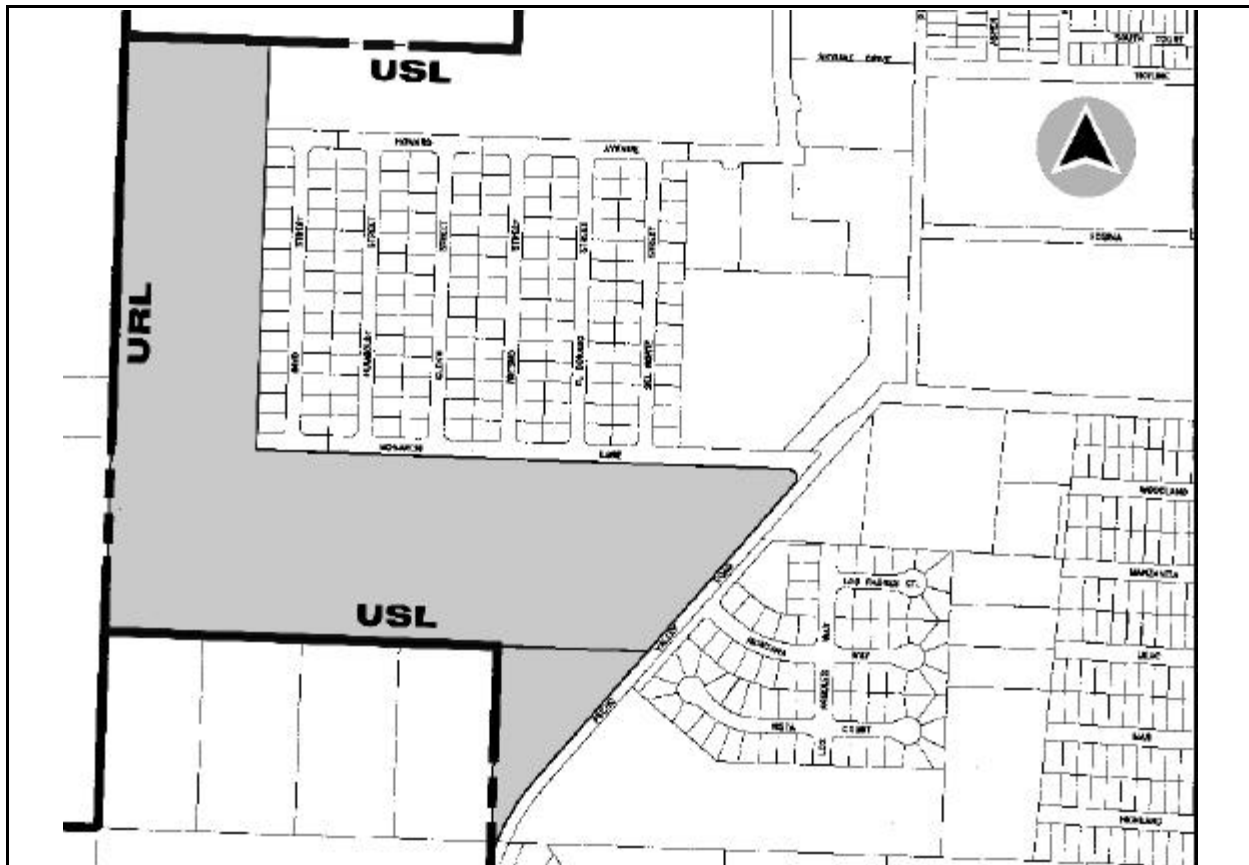


Figure 7-60: West of Pecho Area: Monarch Grove (Tract 1589)

2. **Parcel Size.** The minimum parcel size for new land divisions shall be 20,000 square feet.
3. **Height.** The height of structures shall be limited in accordance with the recommendations of any required visual studies so that views from Pecho Valley Road to the bay and sandspit are protected.
24. **Development Plan Review.** A Development Plan is required to be processed concurrently with subdivision approval and must address the following concerns:
 - a. Best means of clustering development to preserve the eucalyptus trees and minimize impacts on the adjacent Morro Bay Kangaroo Rat habitat.
 - b. Effects of the projects on schools, fire, and other services.
 - c. Traffic impacts and vehicular circulation within the project including traffic to the golf course facility.
 - d. Drainage impacts to the waters of Morro Bay.

~~e. Provision of sewer treatment facilities which are adequate to allow dual use of the present water resources used at the golf course.~~

~~25. **Open Space Easement.** An open space dedication for the area not proposed for development is to be offered prior to issuance of permits or subdivision approval.~~

K. Redfield Woods, Los Osos Highlands (Tract 84) and Morro Palisades (Tract 122) Upland Areas. The following standard ~~26~~ applies only to the above Upland areas (see Figure 7-36 ~~8-2~~).

1. ~~26.~~ Setbacks. Minimum setbacks for new structures in the Upland area are to be as shown in Table 7-6 follows:

Table 7-6, Setbacks: Redfield Woods, Los Osos Highlands (Tract 84), Morro Palisades (Tract 122)

Location of Setback	Minimum Setbacks (feet), Tract No. 84	Minimum Setbacks (feet), Tract No. 122	Minimum Setbacks (feet), Redfield Woods
Front	20	20	20
Side	10	5	5
Corner Side	15	15	5
Rear	10	10	5

L. Vista de Oro Area. The following standard applies only to the portion of the Vista de Oro area labeled as "Location No. 5" in Figure 7-41.

1. Parcel Size. The minimum parcel size for new land divisions shall be one acre.

M. South Bay Blvd. Area. The following standards apply to the South Bay Blvd. area, as shown in Figure 7-61, only in the event of voluntary participation in the Los Osos community-based transfer of development credits (TDC) program.

1. Limitation on Use. Allowable uses are limited to: multi-family dwellings, and all uses listed as "A," "S," or "P" uses in the Residential Single-Family in Table O, Coastal Framework for Planning.

- 2. Environmentally Sensitive Areas.** TDCs shall not be transferred to environmentally sensitive areas as defined in Section IIIA of the Areawide Standards.
- 3. Residential Density.** Maximum overall residential density shall be 15 dwelling units per acre. Maximum net density shall be 15 units per acre; 38 dwelling units per acre for the following types of development:
 - a.** Senior citizen housing that complies with the standards for such housing as specified for the Commercial Retail category, central business district.
 - b.** Affordable housing projects that comply with the housing affordability standards in Section 23.04.094 of the Coastal Zone Land Use Ordinance.
- 4. Sewer and Water Capacity.** Additional development resulting from proposed transfer of development credits shall not be approved unless it can be accommodated by the community sewer system and will not result in community buildout exceeding the sustainable yield of the groundwater basin without seawater intrusion, based on the best available scientific information.

Guidelines: Development Concept. *Development of this area is encouraged to achieve the following objectives. An example of how these objectives may be achieved is illustrated in the design concept shown in Appendix F, Figure F-3.*

- ! *Plan the entire site as an integrated project*
- ! *Promote mixed use*
- ! *Provide small-scale neighborhood commercial uses in the Commercial Retail category within walking distance of much of the Baywood Park area*
- ! *Provide senior and affordable housing that is integrated into the overall development*
- ! *Provide an area for a park and recreational uses*
- ! *Make development attractive and compatible with the surrounding neighborhood*
- ! *Provide convenient pedestrian and bicycle connections throughout the project, to the surrounding neighborhood, and to the junior high school*
- ! *Keep development below the ridgeline at the northern end of the site*
- ! *Take advantage of solar energy and energy conservation measures*



Figure 7-61: South Bay Blvd. Area

N. Residential Single Family Parcels Eligible for Secondary Dwellings (TDCR). The following standards shall apply only in the event of voluntary participation in the Los Osos community-based transfer of development credits (TDC) program. Secondary dwellings in the Residential Single-Family land use category shall comply with applicable standards in Chapter 23.08 of the Coastal Zone Land Use Ordinance, except as follows:

- 1. Limitation on Location.** The limitation on secondary dwellings in Los Osos shall not apply.
- 2. Environmentally Sensitive Areas.** TDCs shall not be transferred to environmentally sensitive areas as defined in Section IIIA of the Areawide Standards.
- 3. Minimum Site Area.** Minimum site area to establish a secondary dwelling shall be 6,000 square feet for sites served by community water and sewer.

- 4. Sewer and Water Capacity.** Additional development resulting from proposed transfer of development credits shall not be approved unless it can be accommodated by the community sewer system and will not result in community buildout exceeding the sustainable yield of the groundwater basin without seawater intrusion, based on the best available scientific information.

~~**Martin Tract.** Standard 27 applies only to the Martin Tract area (see Figure 8-2).~~

- ~~**27. Parcel Size.** The minimum parcel size for new land divisions in the Martin Tract is to be 10,000 square feet, unless a larger parcel size is otherwise required by Coastal Zone Land Use Ordinance Sections 23.04.020, et seq., and the residences are to be sited to minimize the removal of trees. **DUPLICATE OF A PRIOR STANDARD**~~

RESIDENTIAL SUBURBAN: The following standards apply only to lands within the Residential Suburban land use category.

Refer also to the communitywide standards in this section, and Section III, Areawide Standards, for additional development and design standards.

- A. Residential Density.** Maximum overall density for new land divisions shall be as shown in Figure 7-41, Residential Development Potential: New Land Divisions.
- B. Clustered Development.** Minimize site disturbance and concentrate or cluster development in accordance with Section IIIA of the Areawide Standards. This is intended to protect riparian and wetland habitat; rare, endangered or threatened species--such as the Morro Bay Kangaroo Rat and the Morro Shoulderband snail--and their habitat as described in Section IIIA of the Areawide Standards; the Morro Bay estuary; and other sensitive features described in Section IIIA of the Areawide Standards. Where feasible and consistent with the preceding, concentrate development on the most gentle terrain.

C. Los Osos Creek/Eto Lake Corridor. The following standards apply to all parcels adjacent to Eto Lake and Los Osos Creek and its riparian vegetation.

1. Setbacks.

- a. All Areas Except on Existing Parcels Adjacent to Palomino Drive.** New development shall be set back at least 100 feet from the following sensitive features: wetland vegetation, the upland extent of riparian vegetation, and significant areas of habitat that support rare, endangered or threatened species as defined in the Resource Protection standards in Section IIIA of the Areawide Standards.
- b. Existing Parcels Adjacent to Palomino Drive.** New development shall be set back at least 50 feet from the sensitive features described in the preceding item a.
- c. Adjustments.** The preceding setbacks may be adjusted as follows:
 - (1) Riparian and Wetland Setbacks:** as provided in Chapter 23.07 of the Coastal Zone Land Use Ordinance
 - (2) Setback from Habitat that Supports Rare, Endangered or Threatened Species:** as provided in Chapter 23.05 of the Coastal Zone Land Use Ordinance in the standards for grading adjacent to Environmentally Sensitive Habitats.

- ~~1. **Limitation on Use.** All special uses (identified as "S" uses in Coastal Table O, Part I of the Land Use Element) are prohibited adjacent to Los Osos Creek except for: Agriculture accessory structures; animal raising and keeping; home occupations; residential accessory uses; temporary dwellings; accessory storage; participant sports and active recreation; coastal accessways; water wells and impoundments; pipelines and power transmission; and public utility centers.~~
- ~~2. **Setbacks.** Maintain a minimum building setback of 50 feet for development on lots adjacent to riparian areas along Los Osos Creek and Eto Lake.~~
- ~~3. **Setbacks - Sunset Area.** New land divisions adjacent to public holdings in the Sunset area are to be designed to provide a minimum 50 foot building setback to buffer the sensitive resource and habitat areas. ADDRESSED SRA COMBINING DESIGNATION STANDARD FOR LOS OSOS DUNE SANDS, SECTION B~~

D. West of Pecho Area. The following standards apply to the described subareas as shown in Figure 7-62.

Entire West of Pecho Area

- 1. 4. Access--Pecho Valley Road.** ~~Where alternative access is available,~~ lots fronting on Pecho Valley Road ~~that have alternate access roads available are~~ shall not to use Pecho Valley Road for access.
- 5. Land Division Design.** ~~For the Residential Suburban area southeast of Pecho Road, new land divisions are to incorporate design provisions to minimize site disturbance; such provisions may include concentrating proposed development on the most level portions of sites.~~

West of Pecho Valley Road, South of Monarch Grove. The following standards apply only to the area west of Pecho Valley Road and south of Monarch Grove (Tract 1589) [this includes properties north and south of Seascaple Place].

- 2. 6. Limitation on Use--West of Pecho Drive.** Except for the 17-acre property north of Seascaple Place (see subsequent standards for that area), all special uses (identified as "S" uses in Coastal Table O, Part I of the Land Use Element) are prohibited except for: animal raising and keeping; home occupations; mobilehomes; residential accessory uses; secondary dwellings; temporary dwellings; pipelines and power transmission lines; coastal accessways; water wells and impoundments; and public utility facilities centers. ~~(This does not include the Morro Montana Co. property as discussed below.)~~
- 3. 10. Heights--West of Pecho Drive.** Maximum building height shall be 22 feet.

17-Acre Morro Montana Co. Property North of Seascaple Place. The following standards 7, 8, and 9 apply to the 17- acre property fronting on Pecho Valley Road as shown in Figure 7-62 (APN 74-024-11).

- 4. 7. Limitation on Use.** Allowable uses are limited to single family dwellings; coastal accessways; residential accessory uses; home occupations; mobilehomes; and water wells and impoundments.

LOS OSOS URBAN AREA: RESIDENTIAL SUBURBAN CATEGORY

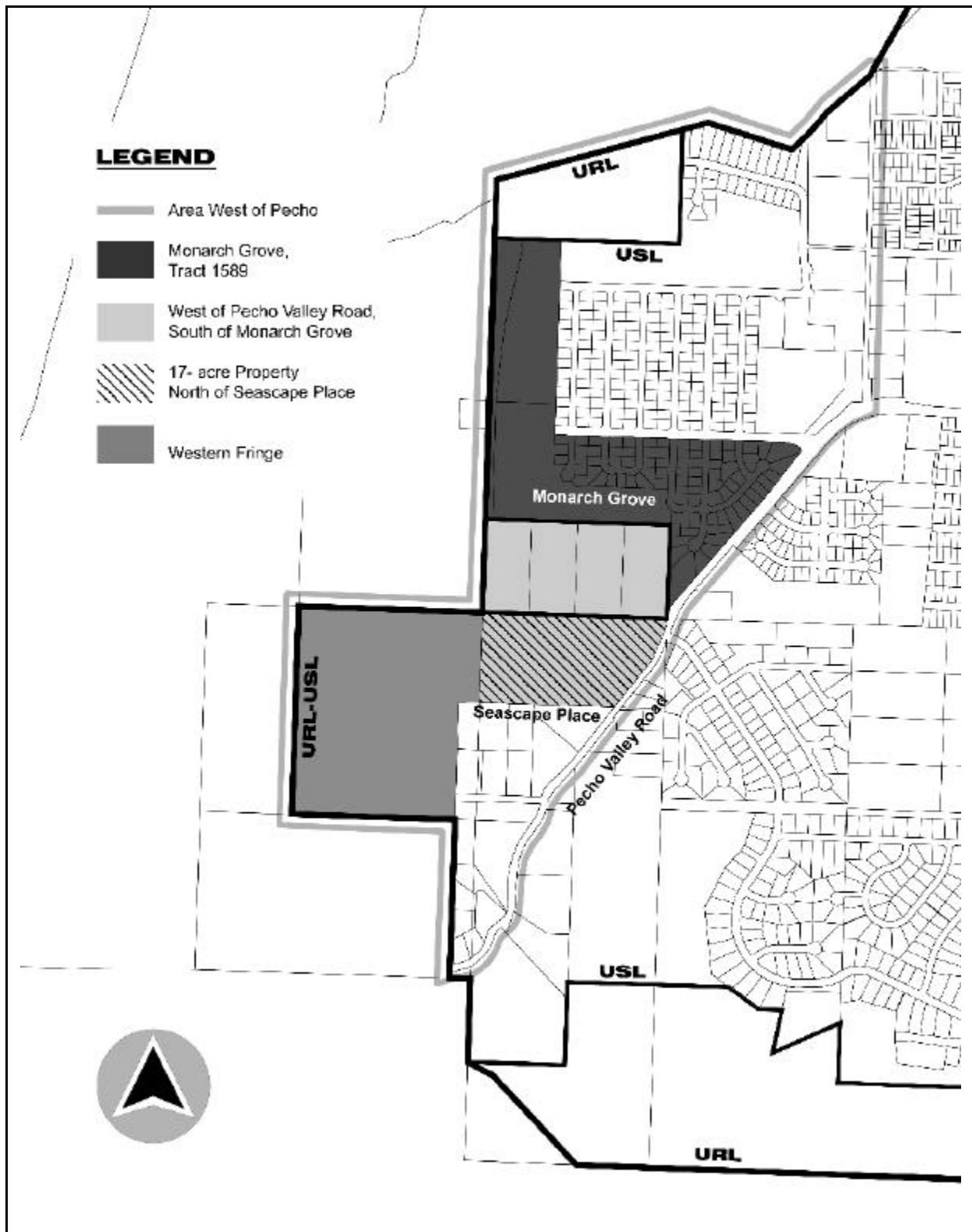


Figure 7-62: West of Pecho Area

~~8. **Development Requirement.** All uses shall require Development Plan review and shall meet the following requirements: Uses shall be clustered with 60% of the holding retained in open space. Residential density may be transferred to the site from adjacent Morro Bay and Land Co. property (APN 74-022-61). Site selection shall be based upon a biological evaluation of the site and determination of the need for preservation of areas of greatest sensitivity.~~

~~9. **Density.** Residential density shall not exceed one dwelling unit per acre, with the ultimate density to be determined when the biological studies have been completed.~~

~~11. **Parcel Size.** Parcel sizes shall be as follows:~~

~~a. Lots on Bayview Heights Drive outside the USL shall be a minimum of 5 acres.~~

~~b. Lots on the south side of Bayview Heights Drive to Gordoniz Road inside the USL shall be a minimum of 2-1/2 acres.~~

~~c. Lots on the north side of Bayview Heights Drive inside the USL shall be a minimum of 1 acre.~~

E. Southwestern Hillside. The following standards apply to the Southwestern Hillside as shown in Figure 7-63, in the subareas specified.

All Areas. The following standard applies to the entire Southwestern Hillside as shown in Figure 7-63.

1. Building Design. All buildings shall have low profiles that architecturally follow and adapt to the natural slope, using subdued colors that blend with the natural environment.

East of Pecho Valley Road.

The following standard applies only to parcels that front on the east side of Pecho Valley Road within Subarea C, as shown in Figure 7-63:

2. 4. Access--Pecho Valley Road. Where alternative access is available, lots fronting on Pecho Valley Road that have alternate access roads available are shall not to use Pecho Valley Road for access.

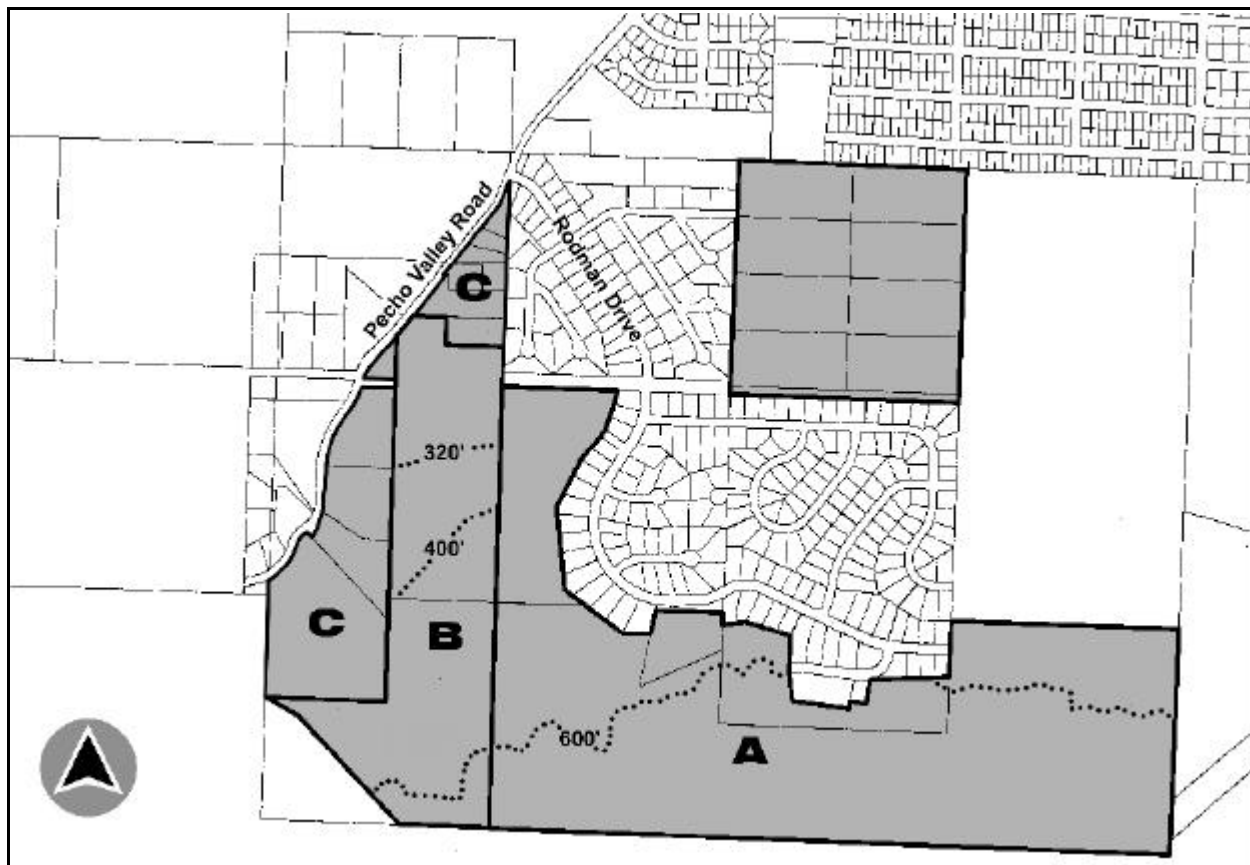


Figure 7-63: Southwestern Hillside: Subareas

5. ~~**Land Division Design.**~~ For the Residential Suburban area southeast of Pecho Road, new land divisions are to incorporate design provisions to minimize site disturbance; such provisions may include concentrating proposed development on the most level portions of sites.
12. ~~**Highland Area - Density.**~~ Maximum density shall be one dwelling unit per three acres (excluding the Morro Palisades property).
13. ~~**Highland Area - Design.**~~ The following shall apply to development within this area: (This does not include the Morro Palisades property.)
 - a. Site selection shall be such as to preserve significant areas of ecological or public visual importance. All development shall be clustered to preserve a maximum of 60 percent of each parcel in undeveloped open space.
 - b. No development shall be permitted on slopes exceeding 20%.

- ~~c. Building exteriors shall be principally composed of native materials and textures (such as wood siding and shingles). Extensions, including roofs, shall be of subdued natural hues and tones harmonizing with the colors of the natural environment.~~

Cabrillo Estates (Area A). The following standards apply only within Cabrillo Estates (Area A), as shown in Figure 7-63.

- 3. Clustered Development.** All development shall be clustered or concentrated as a Planned Development in the western-most portion of the site west of Rodman Drive and below an elevation of 600 feet above sea level in accordance with Section IIIA of the Areawide Standards and all applicable standards for Planned Developments in the Coastal Zone Land Use Ordinance.
- 4. Circulation.** A road shall be offered for dedication and improved to the western property line to enable access to the adjacent property to the west in the East of Pecho Valley Road area.

Area B. The following standard applies only within Area B, as shown in Figure 7-63.

- 5. Clustered Development.** All development shall be clustered or concentrated as a Planned Development in the northern portion of the site below an elevation of 400 feet above sea level in accordance with Section IIIA of the Areawide Standards and all applicable standards for Planned Developments in the Coastal Zone Land Use Ordinance. Notwithstanding those standards, at least 60 percent of the site shall be permanently protected as open space for habitat.
- F. Southeastern Hillsides-Morro Palisades.** The following standard ~~14~~ applies only to Area A within the Southeastern Morro Palisades Hillsides area as shown in (see Figure 7-64 ~~8-2~~).
- 1. Building Design.** All buildings shall have low profiles that architecturally follow and adapt to the natural slope, using subdued colors that blend with the natural environment.

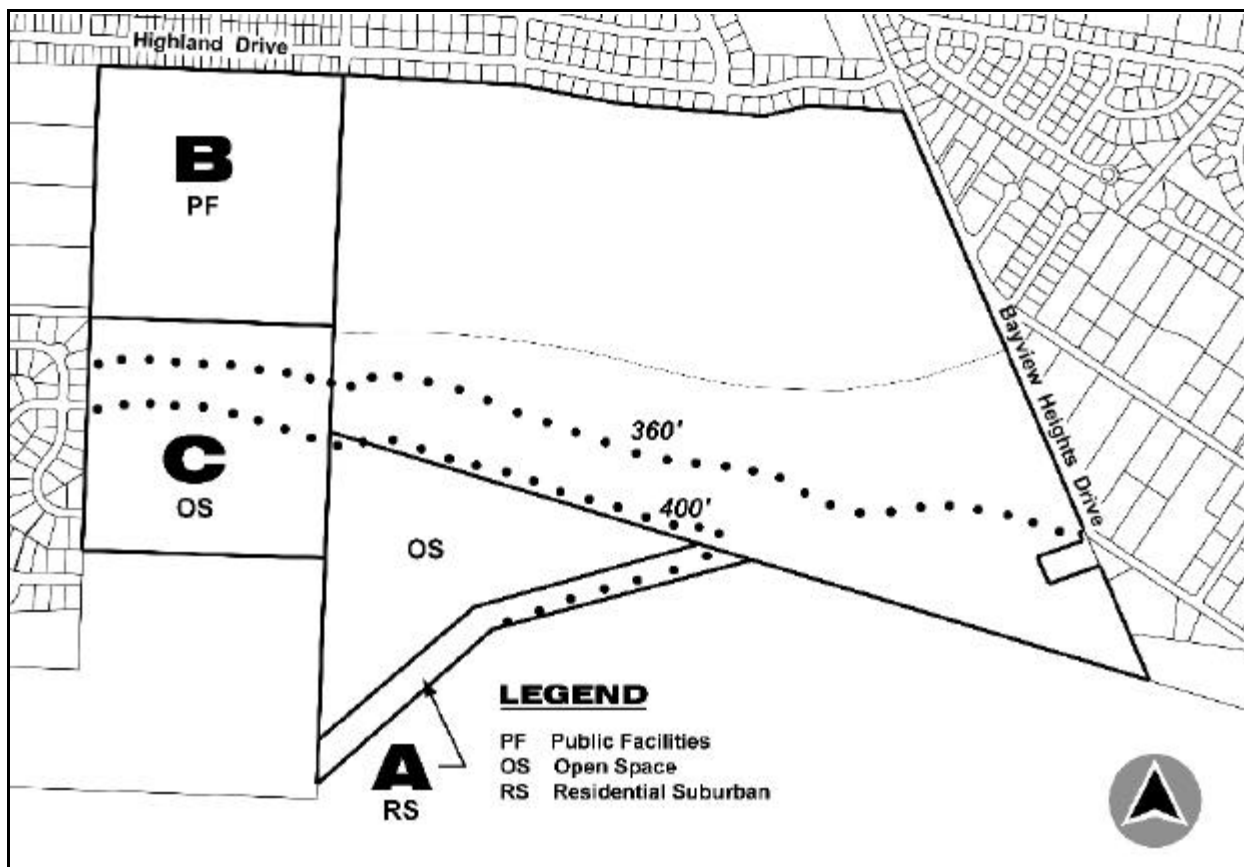


Figure 7-64: Southeastern Hillside: Subareas

14. Hillside Area. This area shall be developed as a planned development as follows:

- a. For the Morro Palisades properties south of the extension of South Bay Boulevard, the densities shall be 0-2 units/acre reflecting the densities as approved in the Morro Palisades Development Plan.
- b. Site selection shall be such as to preserve significant areas of ecological importance. **ADDRESSED BY OPEN SPACE STANDARDS IN SECTION C.** The upper portion of the viewshed in permanent open space or scenic preserve easements shall be established as appropriate to accomplish this preservation. No development shall extend further into the viewshed than the existing subdivided areas to the west and east.
- c. Development of the property will be permitted only where adequate additional service capacities are established and it can be demonstrated that development of the property will not jeopardize resource availability to higher priority proposals. **ADDRESSED BY OTHER LCP POLICIES STANDARDS**

~~d. No development shall be permitted on slopes exceeding 30%. ADDRESSSED BY COASTAL ZONE LAND USE ORDINANCE~~

~~e. The stand of Bishop Pines located south of the proposed extension of South Bay Boulevard shall be preserved and the small area of Indian Knob Yerba Santa shall also be maintained as part of the open space. ADDRESSSED BY PROPOSED OPEN SPACE STANDARDS IN SECTION C~~

G. South of El Moro Ave., East of South Bay Blvd. The following standards apply to **the area** ~~1995 Assessor Parcel Numbers 038 721 005 and 014~~ located on El Moro Ave., east of South Bay Blvd., as shown in Figure ~~7-65~~ **8-7**.

~~15. **Parcel Size.** The minimum parcel size for new land divisions is five acres., unless a larger minimum parcel size is otherwise required by Coastal Zone Land Use Ordinance Section 23.04.027, et. seq.~~

~~1. 16. **Permit Requirements.** Minor Use Permit approval is required.~~

2. Protection of Sensitive Resources. At the time of land use permit application, the applicant shall submit a biological survey/report, a botanical survey/report, and a report on subsurface testing of archaeological resources. The recommendations of those reports shall be implemented as determined appropriate by the Environmental Coordinator, consistent with the Resource Protection standards in Section IIIA of the Areawide Standards.

~~17. **Development Standards.** The following standards apply to all properties shown on Figure 8-7. Land use permit applications shall include:~~

~~a. **Biological Resources.** At the time of land use permit application, the applicant shall provide a biological survey performed by a qualified wildlife biologist which addresses the potential for occurrence of any special status animal species, including the Morro Bay kangaroo rat, on the project site. The applicant shall implement the recommendations of the wildlife biologist as determined appropriate by the Environmental Coordinator. In addition, the property is required to comply with all provisions of the Federal and State Endangered Species Acts.~~

- ~~b. **Botanical Resources.** At the time of land use permit application, the applicant shall provide a botanical survey performed by a qualified botanist which addresses the potential for occurrence of any special status plant species, including the Indian Knob mountain balm and the Morro Bay manzanita, on the project site. The applicant shall implement the recommendations of the botanist as determined appropriate by the Environmental Coordinator.~~
- ~~c. **Archaeological Resources.** At the time of land use permit application, the applicant shall provide sub-surface testing conducted by a qualified archaeologist in order to determine the significance and possible mitigation measures for the resources on the project site. The applicant shall implement the recommendations of the archaeologist as determined appropriate by the Environmental Coordinator.~~



Figure 7-65: East of South Bay Blvd., South of El Moro Ave.